

KOOSH RETAIL CENTER

SE CORNER OF GRIFFIN RD. & SW 26TH AVE
 DANIA BEACH FL

10-01-2014

INDEX OF DRAWINGS

SURVEYOR	CIVIL	LANDSCAPE	ARCHITECTS	STRUCTURE	MEP
S1.00 PLAT S2.00 PLAT S1.00 BOUNDARY & TOPOGRAPHIC SURVEY S2.00 BOUNDARY & TOPOGRAPHIC SURVEY S3.00 BOUNDARY & TOPOGRAPHIC SURVEY	C-1.0 PAVING, GRADING & DRAINAGE C-1.1 WATER & SEWER PLAN C-1.2 SIGNING & PAVEMENT MARKING PLAN C-1.3 STORMWATER POLLUTION PREVENTION PLAN	LD-1 TREE DISPOSITION PLAN LD-2 AERIAL AND SITE PHOTOGRAPHS LA-1 SCHEMATIC LANDSCAPE PLAN LA-2 PLANTING NOTES LA-3 PLANTING DETAILS LI-1 IRRIGATION PLAN LI-2 IRRIGATION DETAILS	A1.00 SITE PLAN A1.10 DUMPSTER-PARKING-SIGN DETAILS A2.00 FLOOR PLAN - BUILDINGS 1, 2 & 3 A3.00 ELEVATIONS - BUILDING 1 A3.10 ELEVATIONS - BUILDING 2 A3.20 ELEVATIONS - BUILDING 3 A4.00 ROOFTOP EQUIPMENT LINE OF SIGHT & GLAZING COMPUTATIONS A5.00 SIGNAGE PLAN		E1.0 PHOTOMETRIC PLAN



**ARCHITECTS
 PLANNERS
 INTERIORS**

15156 S.W. 15th AVENUE, MIAMI, FLORIDA 33187
 TEL: 305.555.1111 • FAX: 305.555.1111 • WWW.MAP-INC.COM

KOOSH AT GRIFFIN

A REPLAT OF A PORTION OF TRACT 9, BLOCK 1, PLAT OF SEC'S 28, 29, 31 AND 32 T. 50 S., R. 42 E,
PLAT BOOK 2, PAGE 32, DADE COUNTY RECORDS; SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST;
DANIA BEACH, BROWARD COUNTY, FLORIDA
SEPTEMBER, 2013

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, 20____ A.D.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, 20____ A.D.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - RECORDING SECTION

THIS INSTRUMENT WAS FILED FOR RECORD THIS _____ DAY OF _____, 20____ A.D., AND RECORDED IN PLAT BOOK _____, PAGE _____, RECORD VERIFIED.

ATTEST: BERTHA HENRY COUNTY ADMINISTRATOR BY: _____ DEPUTY

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - MINUTES SECTION

THIS IS TO CERTIFY THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA

THIS _____ DAY OF _____, 20____

ATTEST: BERTHA HENRY COUNTY ADMINISTRATOR BY: _____ DEPUTY

BY: _____
MAYOR - COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART I, FLORIDA STATUTES. THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD.

BY: ROBERT F. LEGG, JR. DATE _____ PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. LS 4030
BY: RICHARD TORNESE DATE _____ DIRECTOR PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. 40263

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT

THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, 20____

BY: _____
DIRECTOR/DESIGNEE

CITY COMMISSION

THIS IS TO CERTIFY THAT THIS PLAT, ENTITLED KOOSH AT GRIFFIN, WAS APPROVED AND ACCEPTED BY THE CITY COMMISSION OF DANIA BEACH, FLORIDA BY ORDINANCE NO. _____ ADOPTED THIS DAY OF _____, A.D. 20____, AND THAT BY SAID RESOLUTION ALL THOROUGHFARES SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS LAND ARE CANCELLED AND SUPERSEDED.

BY: _____
MAYOR

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

CITY PLANNING AND ZONING BOARD

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF DANIA BEACH, FLORIDA, AND HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS DAY OF _____, A.D. 20____.

BY: _____
CHAIRPERSON

DEDICATION

STATE OF FLORIDA }
COUNTY OF BROWARD }SS

KNOW ALL MEN BY THESE PRESENTS THAT SDS DEVELOPMENT & TRUST, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LANDS AS SHOWN AND DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREIN, SAID PLAT TO BE KNOWN AS KOOSH AT GRIFFIN, A REPLAT.

THE PLATTED RIGHT-OF-WAYS AND EASEMENTS, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF, THE ABOVE-NAMED COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS OFFICERS AND THE CORPORATE SEAL AFFIXED THERETO, THIS _____ DAY OF _____, 2013.

BY: SHARON SHARABY, MANAGING MEMBER

WITNESS AS TO BOTH _____ WITNESS PRINT NAME _____

WITNESS AS TO BOTH _____ WITNESS PRINT NAME _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA }
COUNTY OF BROWARD }SS

I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, THE PERSON(S) KNOWN TO ME AND DESCRIBED WITHIN, OR WHO HAS PRODUCED _____ AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING PLAT AND INSTRUMENT OF DEDICATION AS OFFICER(S) OF SAID COMPANY, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN EXPRESSED, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY.

WITNESS MY SIGNATURE AND OFFICIAL SEAL THIS _____ DAY OF _____, 2013.

SEAL/MY COMMISSION EXPIRES: _____

NOTARY PUBLIC - STATE OF FLORIDA

DEDICATION OF MORTGAGE HOLDER

STATE OF FLORIDA }
COUNTY OF BROWARD }SS

KNOW ALL MEN BY THESE PRESENTS, THAT LUIS M. PEREZ, AS HOLDER OF A CERTAIN MORTGAGE ON THE LANDS SHOWN AND DESCRIBED HEREON, AND RECORDED IN OFFICIAL RECORDS BOOK 48972, PAGE 1263, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION THERETO, SAID LANDS TO BE SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREON.

IN WITNESS WHEREOF, SAID MORTGAGE HOLDER HAS CAUSED THESE PRESENTS TO BE SIGNED THERETO THIS _____ DAY OF _____, 20____.

BY: LUIS M. PEREZ

WITNESS: _____ WITNESS: _____

WITNESS PRINT NAME: _____ WITNESS PRINT NAME: _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA }
COUNTY OF BROWARD }SS

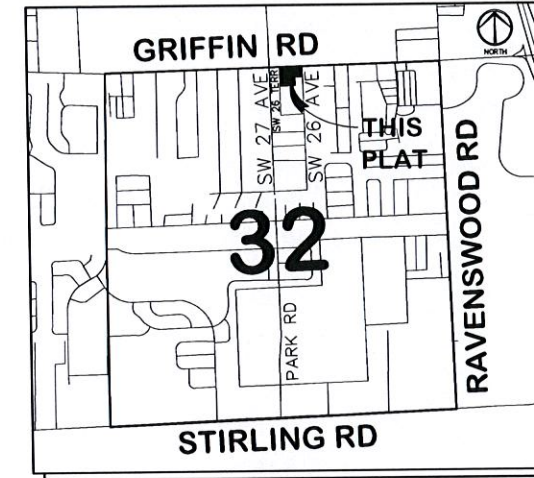
I HEREBY CERTIFY THAT ON THIS DAY, LUIS M. PEREZ PERSONALLY APPEARED BEFORE ME, AND HE SEVERALLY ACKNOWLEDGED BEFORE ME THAT THE EXECUTION OF THE FOREGOING PLAT AND INSTRUMENT OF DEDICATION IS HIS FREE ACT AND DEED AS SUCH MORTGAGE HOLDER.

WITNESS MY SIGNATURE AND OFFICIAL SEAL AT BROWARD COUNTY, FLORIDA THIS _____ DAY OF _____, 20____.

TYPE OF IDENTIFICATION PRODUCED: _____

COMMISSION NUMBER: _____

PRINT NAME _____ NOTARY PUBLIC-STATE OF FLORIDA



LOCATION MAP
NOT TO SCALE

DESCRIPTION:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 48870, PAGE 1760, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST ACCORDING TO THE "PLAT OF SECTIONS 28, 29, 31 AND 32", AS RECORDED IN PLAT BOOK 2 AT PAGE 32 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, THENCE NORTH 88°25'04" EAST (ASSUMED BEARING BASE) ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'04" WEST, PARALLEL WITH THE NORTH LINE OF SAID SECTION 32, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE NORTH 01°29'40" WEST, PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE, A DISTANCE OF 137.20 FEET; TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE NORTH 88°25'04" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD (35 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4)), A DISTANCE OF 94.95 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 30 FEET; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°05'16", AN ARC DISTANCE OF 47.17 FEET TO THE POINT OF TANGENCY, SAID POINT BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE (25 FEET WEST OF AND PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE), A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH: THOSE CERTAIN PARCELS OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49176, PAGE 1690, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

PARCEL 1: THE SOUTH 106 FEET OF THE NORTH 141 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF LOT 9, BLOCK 1, OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, AS SHOWN BY PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE WEST 10 FEET FOR ROAD RIGHT OF WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 13452, PAGE 788, BROWARD COUNTY RECORDS.

PARCEL 2: THE SOUTH 106 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE WEST 10 FEET THEREOF FOR PUBLIC ROAD PURPOSES, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

AND: THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, EXCEPT THEREFROM THE EAST 300 FEET THEREOF, THE WEST 225 FEET THEREOF, THE NORTH 35 FEET THEREOF, RESERVED FOR ROAD PURPOSES AND ALSO EXCEPTING THEREFROM THE WEST 5 FEET OF THE EAST 305 FEET OF THE SOUTH 93.63 FEET OF THE NORTH 296 FEET OF SAID LOT 9, BLOCK 1, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TOGETHER WITH: THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49736, PAGE 755, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THE SOUTH 55 FEET OF THE NORTH 196 FEET OF THE EAST 60 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1 OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, EXCEPT THE NORTH 35 FEET THEREOF.

THE ABOVE DESCRIBED PARCELS OF LAND TAKEN AS A WHOLE, ALSO BEING DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1, ACCORDING TO THE "PLAT OF SECTIONS 28, 29, 31 AND 32, T. 50S, R. 42E", AS RECORDED IN PLAT BOOK 2, PAGE 32 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, THENCE NORTH 88°25'31" EAST, ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'13" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'31" WEST, PARALLEL WITH WHEN MEASURED AT RIGHT ANGLES TO SAID NORTH LINE, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE SOUTH 01°28'01" EAST ALONG A LINE 300 FEET WEST OF AND DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE SOUTH 01°28'01" EAST ALONG A LINE 305' WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO SAID EAST BOUNDARY, A DISTANCE OF 93.63 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE 296 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 188.99 FEET; THENCE NORTH 01°21'05" WEST ALONG A LINE 165 FEET EAST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 261.00 FEET; THENCE NORTH 88°25'31" EAST ALONG THE SOUTH RIGHT OF WAY LINE FOR GRIFFIN ROAD, SAID LINE LYING 35 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 288.37 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°05'16", FOR AN ARC DISTANCE OF 47.17 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01°29'13" EAST, A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES LYING ALONG THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE.

SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 67,048 SQUARE FEET (1.539 ACRES), MORE OR LESS.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE PLAT AND SURVEY DATA SHOWN CONFORMS TO ALL THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART I, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS REQUIRED TO COMPLY WITH THE BROWARD COUNTY LAND DEVELOPMENT CODE; THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177, PART I, ON THIS _____ TH DAY OF _____, 20____.

THE BENCHMARKS SHOWN ARE REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM (N.V.A.D.) OF 1988 IN CONFORMITY WITH STANDARDS ADOPTED BY THE NATIONAL OCEAN SURVEY FOR THIRD ORDER VERTICAL CONTROL.

BY: _____ DATE: _____
RAYMOND YOUNG
PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION NUMBER 5799
CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NUMBER LICENSE BUSINESS 271



























PLAT PREPARED BY:

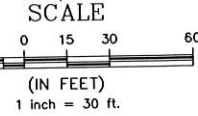
CRAVEN THOMPSON & ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309-6311
TEL: (954) 739-6400 FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

KOOSH AT GRIFFIN

A REPLAT OF A PORTION OF TRACT 9, BLOCK 1, PLAT OF SEC'S 28, 29, 31 AND 32 T. 50 S., R. 42 E.,
PLAT BOOK 2, PAGE 32, DADE COUNTY RECORDS; SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST;
DANIA BEACH, BROWARD COUNTY, FLORIDA
SEPTEMBER, 2013

LEGEND

-  INDICATES NAIL W/ LB271 PPM DISC
-  INDICATES 4" X 4" CONCRETE MONUMENT, MINIMUM LENGTH 24", STAMPED WITH "PPM-LB271" DISC
-  INDICATES BROWARD COUNTY RECORDS
-  INDICATES BENCHMARK ELEVATION (IN FEET)
-  INDICATES CALCULATED
-  INDICATES CENTERLINE
-  INDICATES DEED BOOK
-  INDICATES FIELD MEASUREMENT
-  INDICATES FLORIDA POWER AND LIGHT
-  INDICATES ARC LENGTH
-  INDICATES LICENSED BUSINESS
-  INDICATES MIAMI-DADE COUNTY RECORDS
-  INDICATES NORTH AMERICAN VERTICAL DATUM OF 1988
-  INDICATES NATIONAL GEODETIC VERTICAL DATUM OF 1929
-  INDICATES OFFICIAL RECORDS BOOK
-  INDICATES PER PLAT
-  INDICATES PLAT BOOK
-  INDICATES PERMANENT CONTROL POINT
-  INDICATES PAGE
-  INDICATES PERMANENT REFERENCE MONUMENT
-  INDICATES RADIUS
-  INDICATES RIGHT OF WAY
-  INDICATES SQUARE FEET
-  INDICATES WITH
-  INDICATES NON-VEHICULAR ACCESS LINE (N.V.A.L.)
-  INDICATES CENTRAL ANGLE



PLAT NOTES:

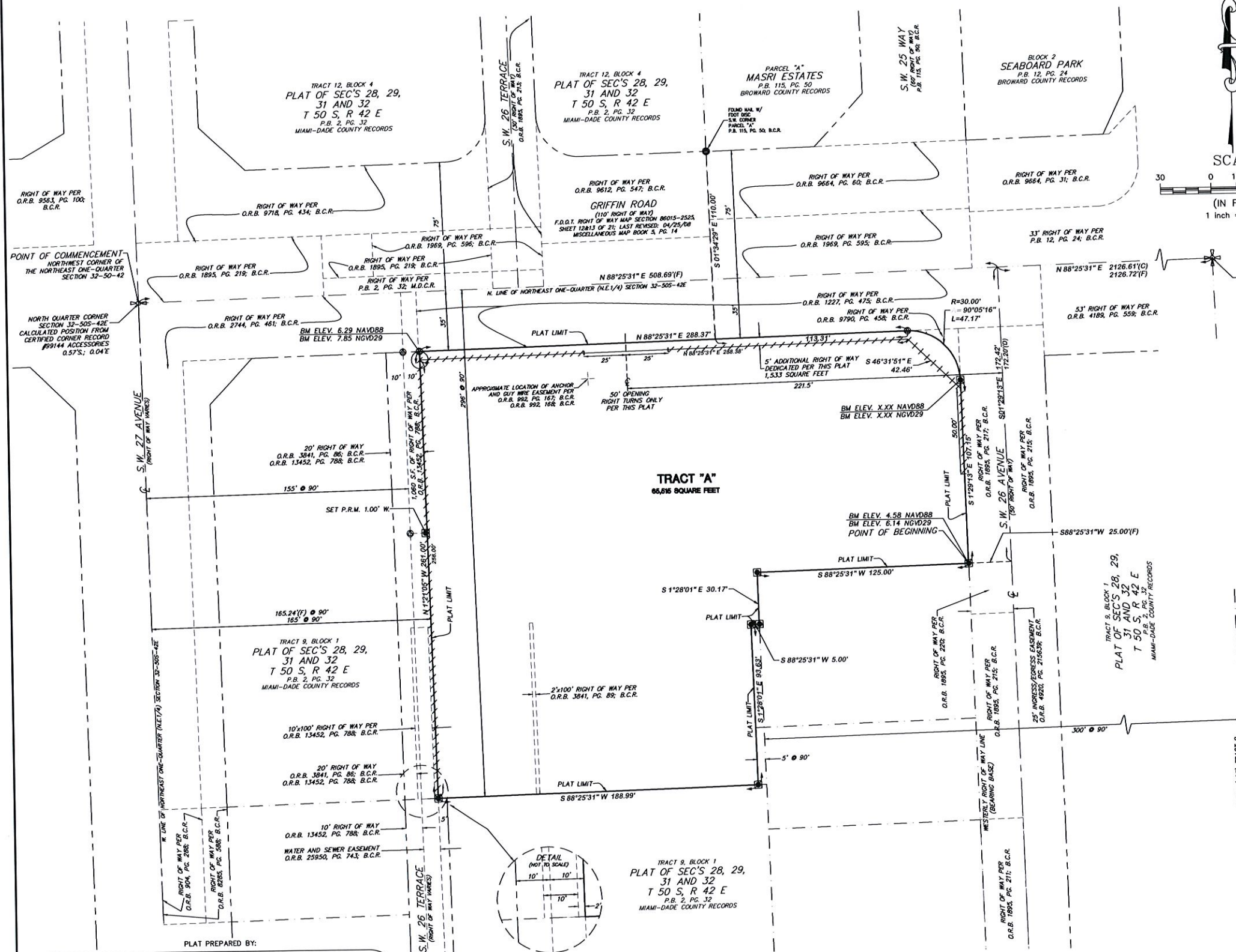
1. THIS PLAT IS RESTRICTED TO 30,000 SQUARE FEET OF COMMERCIAL USE, 5,000 SQUARE FEET OF BANK USE AND 5,000 SQUARE FEET OF OFFICE USE.

THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THEREIN TO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
2. THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES: PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
3. IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY CONSTRUCTION PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME; AND/OR
4. IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY 2018, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
5. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN, AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S NOTES:

1. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE REFERENCED TO GPS #6, A B.C.E.D. BRASS DISC SET IN CONCRETE, S.W. 42 STREET, WEST OF THE REMOTE PARKING FACILITY, AS SHOWN ON FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT SURVEY CONTROL MAP, WHOSE PUBLISHED ELEVATION IS 4.358, AS SHOWN ON THE SURVEY CONTROL MAP FOR FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT, BROWARD COUNTY, FLORIDA PREPARED BY STONER & ASSOCIATES, INC. PROJECT #06-5464, DATED: 02/02/96.

ELEVATIONS SHOWN AS "NGVD29" ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. NGVD29 ELEVATIONS WERE DERIVED FROM SUBTRACTING 1.60' FROM NAVD88 ELEVATIONS AS CALCULATED FROM THE DIFFERENCE BETWEEN NAVD88 SITE BENCH MARKS TO BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #127 (NGVD29).
2. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN. THE NORTH BOUNDARY OF PARCEL "A", BUDLIGHT PLAT, PLAT BOOK 141, PAGE 6 IS ASSUMED TO BEAR NORTH 87°26'40" EAST.

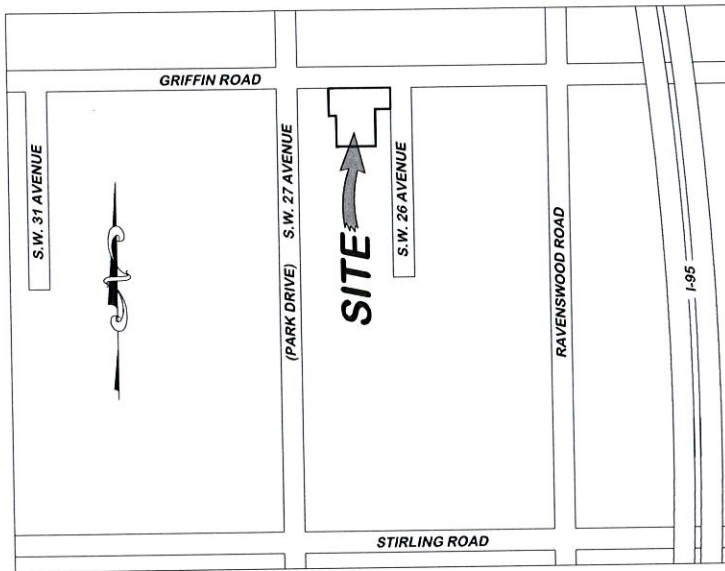


CRAVEN THOMPSON & ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309-6311
TEL: (954) 739-6400 FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

13-0033
035-MP-13

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

ELEVATIONS SHOWN HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



LOCATION SKETCH
(NOT TO SCALE)

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or guarantee as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification. NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

SURVEYOR'S NOTES:

- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF SDS DEVELOPMENT AND TRUST, LLC, FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT AND AFOREMENTIONED CLIENT FOR THIS PROJECT.
- THE INTENT OF THIS SURVEY IS TO SHOW THE LOCATION OF THE IMPROVEMENTS WITHIN AND ADJACENT TO THE HEREON DESCRIBED PARCEL OF LAND. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
- THE EXPECTED USE OF THIS SURVEY AND MAP IS FOR COMMERCIAL/HIGH RISK, THEREFORE, THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK LINEAR AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6, F.A.C.).
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY AS STATED UNDER RULE 5J-17-6.00(3)(M) F.A.C.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER FOR SHEETS S-2 AND S-3.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN. THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE IS ASSUMED TO BEAR SOUTH 01°29'13" EAST.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND REFERENCED TO BENCHMARK-GPS #8, B.C.E.D. BRASS DISC SET IN CONCRETE, SW 42ND STREET, WEST OF REMOTE PARKING FACILITY, AS SHOWN ON FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT SURVEY CONTROL MAP, WHOSE PUBLISHED ELEVATION IS 4.358, AS SHOWN ON THE SURVEY CONTROL MAP FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT, BROWARD COUNTY, FLORIDA. PREPARED BY STONER & ASSOCIATES, INC. PROJECT #96-5464, DATED 2/2/96.
- THE MEASUREMENTS SHOWN HEREON WERE OBTAINED USING A "LEICA TCR-802 POWER REFLECTORLESS" TOTAL STATION AND "IDS" DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.

DESCRIPTION:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 48870, PAGE 1760, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E.1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST ACCORDING TO THE PLAT OF SECTIONS 28, 29, 31 AND 32, AS RECORDED IN PLAT BOOK 2 AT PAGE 32 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.1/4) OF SECTION 32, THENCE NORTH 88°25'04" EAST (ASSUMED BEARING BASE), ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'04" WEST, PARALLEL WITH THE NORTH LINE OF SAID SECTION 32, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE, THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE NORTH 01°29'40" WEST, PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE, A DISTANCE OF 137.20 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID NORTHEAST ONE-QUARTER EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD (35 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.1/4), A DISTANCE OF 94.95 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 30 FEET; THENCE (N.E. 1/4), A DISTANCE OF 94.95 FEET TO A POINT OF TANGENCY, SAID POINT BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE (25 FEET WEST OF AND PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE), A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

THOSE CERTAIN PARCELS OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49176, PAGE 1690, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE SOUTH 106 FEET OF THE NORTH 141 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF LOT 9, BLOCK 1, OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, AS SHOWN BY PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

PARCEL 2:

THE SOUTH 100 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE WEST 10 FEET THEREOF FOR PUBLIC ROAD PURPOSES, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

PARCEL 3:

THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32 PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THEREFROM THE EAST 300 FEET THEREOF, THE WEST 225 FEET THEREOF, THE NORTH 35 FEET THEREOF RESERVED FOR ROAD PURPOSES AND ALSO EXCEPTING THEREFROM THE WEST 5 FEET OF THE EAST 305 FEET OF THE SOUTH 93.63 FEET OF THE NORTH 296 FEET OF SAID LOT 9, BLOCK 1, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49736, PAGE 755, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THE SOUTH 55 FEET OF THE NORTH 196 FEET OF THE EAST 60 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1 OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, EXCEPT THE NORTH 35 FEET THEREOF.

THE ABOVE DESCRIBED PARCELS OF LAND TAKEN AS A WHOLE, ALSO BEING DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E.1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST ACCORDING TO THE PLAT OF SECTIONS 28, 29, 31 AND 32, AS RECORDED IN PLAT BOOK 2, PAGE 32 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.1/4) OF SECTION 32, THENCE NORTH 88°25'31" EAST, ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'13" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'31" WEST, PARALLEL WITH WHEN MEASURED AT RIGHT ANGLES TO SAID NORTH LINE, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE SOUTH 01°28'01" EAST ALONG A LINE 300 FEET WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE EAST BOUNDARY OF SAID TRACT 9, A DISTANCE OF 30.17 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 5.00 FEET; THENCE SOUTH 01°28'01" WEST ALONG A LINE 305' WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 188.99 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE 296 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID NORTHEAST ONE-QUARTER (N.E.1/4), A DISTANCE OF 155.00 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE 141 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 10.00 FEET; THENCE NORTH 01°21'05" WEST ALONG A LINE 155 FEET EAST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID WEST LINE, A DISTANCE OF 108.00 FEET; THENCE NORTH 88°25'31" EAST ALONG THE SOUTH RIGHT OF WAY LINE FOR GRIFFIN ROAD, SAID LINE LYING 35 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 298.17 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT, THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°05'16" FOR AN ARC DISTANCE OF 42.17 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01°29'13" EAST, A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES LYING ALONG THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE.

SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 68,108 SQUARE FEET (1.564) ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17.051 AND 5J-17.052 (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION IN AUGUST, 2010.

LAST DATE OF FIELD WORK: 10-03-13

CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB271

RAYMOND YOUNG
PROFESSIONAL SURVEYOR & MAPPER NO. 5799
STATE OF FLORIDA

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER RULES 5J-17.061 & 5J-17.062 FLORIDA ADMINISTRATIVE CODE.

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
STATE OF FLORIDA LICENSE NO. 15034
STATE OF FLORIDA LICENSE NO. 15034
STATE OF FLORIDA LICENSE NO. 15034
STATE OF FLORIDA LICENSE NO. 15034

GRIFFIN COMMERCIAL SITE
GRIFFIN ROAD & S.W. 26th AVENUE
PREPARED FOR:
SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01

S-1

SHEET 1 OF 3

SEE SHEET S-2 FOR BOUNDARY INFORMATION AND SITE TOPOGRAPHIC INFORMATION
SEE SHEET S-3 FOR SITE TOPOGRAPHIC INFORMATION

THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

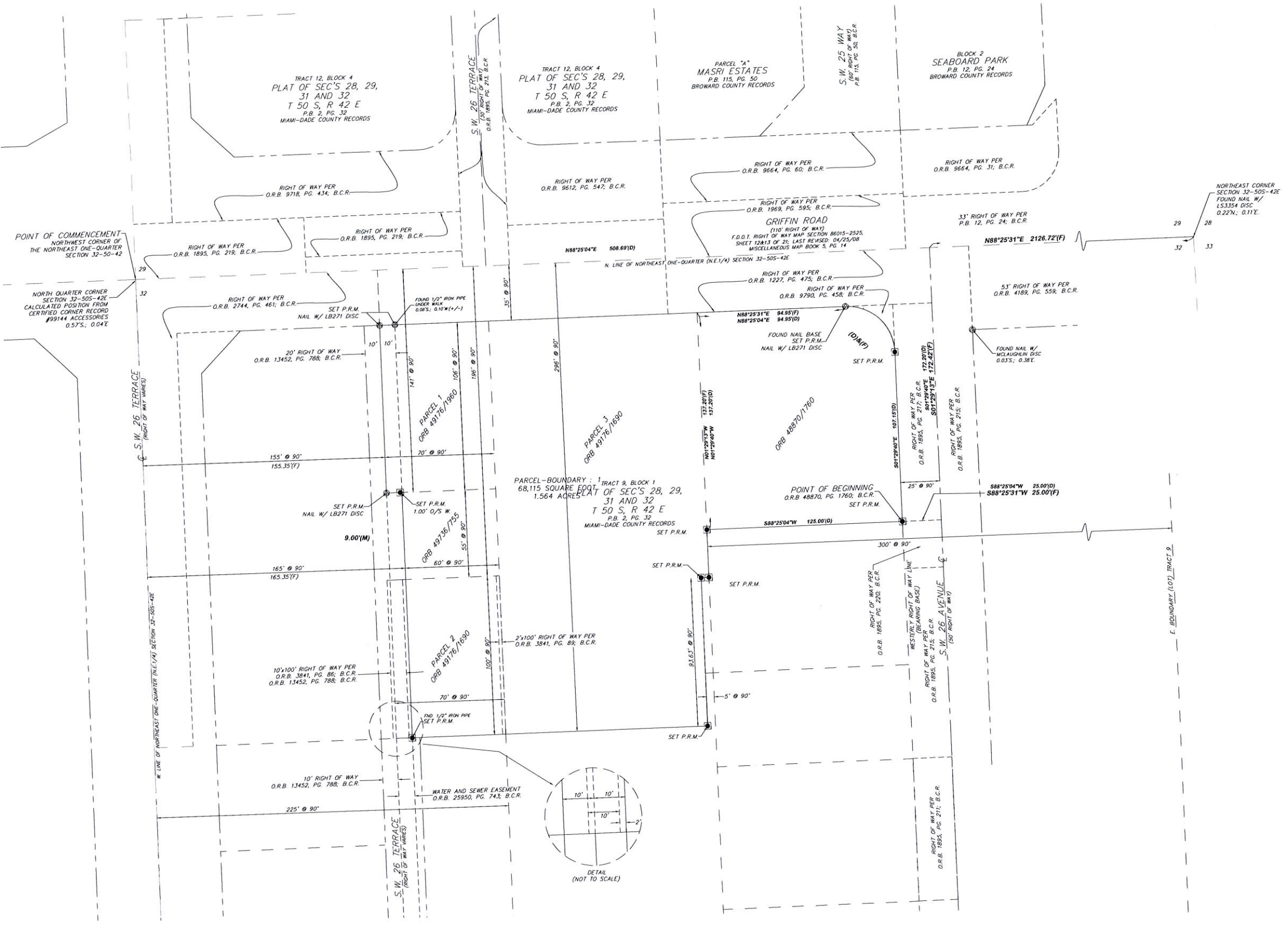
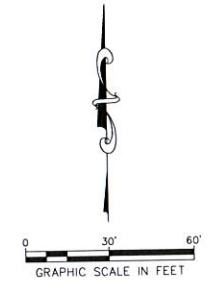
H:\Sharon Knoch\Survey\Updated Survey\13-0033-CALCS - export to 2004_10-23-13-11-13-0033-CALCS.dwg [5-1] Oct 27, 2014 12:19pm GSD071

ABBREVIATION LEGEND	SYMBOL LEGEND
A/C AIR CONDITIONER	— UTILITY ANCHOR
B.C.R. BROWARD COUNTY RECORDS	• BOLLARD
BH BUD HEIGHT	□ MAILBOX
B.O.S. BOTTOM OF STRUCTURE	— CURB INLET
(C) CALCULATED	⊙ STORM DRAIN MANHOLE
C&G CURB AND GUTTER	⊙ SANITARY SEWER MANHOLE
C.L.F. CHAIN LINK FENCE	▲ SINGLE POST SIGN
C.M.P. CORRUGATED METAL PIPE	□ TELEPHONE PULLBOX
CONC. CONCRETE	⊙ ELECTRIC PULLBOX
C.T.A. CRAVEN THOMPSON & ASSOCIATES, INC.	⊙ TRAFFIC SIGNAL PULLBOX
(D) PER DESCRIPTION	⊙ WATER VALVE
ELEV. ELEVATION	⊙ WATER METER
(F) FIELD MEASURED	BFP BACKFLOW PREVENTOR
FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	DOCV DOUBLE DETECTOR CHECK VALVE
F.F. FINISHED FLOOR	• ELECTRIC OUTLET
FND. FOUND	○ WOOD POWER POLE
I.E. INVERT ELEVATION	○ WOOD POWER POLE W/ LIGHT
L. ARC LENGTH	○ METAL LIGHT POLE
LB LICENSED BUSINESS	— CONCRETE POWER POLE
M.D.C.R. MIAMI-DADE COUNTY RECORDS	○ CONCRETE POWER POLE W/LIGHT
O.H. OVER HANG	COO CONCRETE POWER POLE W/LIGHT
O.R.B. OFFICIAL RECORDS BOOK	☼ PALM TREE
O/S OFF SET	⊙ IRRIGATION CONTROL VALVE
P.B. PLAT BOOK	⊙ FIRE HYDRANT
P.C. PAGE	⊙ MONITORING WELL
P.V.C. POLY VINYL CHLORIDE PIPE	+ 10.0 SPOT GROUND ELEVATION
R. RADIUS	+ 10.00 SPOT HARD SURFACE ELEVATION
R.C.P. REINFORCED CONCRETE PIPE	— OVERHEAD WIRES
R.E. RIM ELEVATION	
R/W RIGHT OF WAY	
S.F. SQUARE FEET	
W/ WITH	
W.F. WOOD FENCE	
W.A. CENTRAL ANGLE	
P.R.M. PERMANENT REFERENCE MONUMENT	
4"x4" CONCRETE MONUMENT W/ LB271 DISC (UNLESS OTHERWISE NOTED)	
⊙ CENTERLINE	

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification. NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	10-03-13
SCALE:	1"=30'
DRAWN BY:	RY
CHECKED BY:	TCS
FIELD BOOK:	297
PAGE(S):	202
BY:	10-04-13
DATE:	10-04-13
DESCRIPTION:	1. REUSE BOUNDARY CORNER INFO/AND OFFICE LOCATIONS



SEE SHEET S-1 FOR DESCRIPTION, SURVEYOR'S NOTES, CERTIFICATION, LEGENDS AND LOCATION SKETCH
SEE SHEET S-3 FOR SITE TOPOGRAPHIC INFORMATION

THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

H:\Sharon\Kash\Survey\Updated Survey\13-0033-CALCS.dwg [5-2] Oct 27, 2014 12:19pm GSC011

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
INTERNATIONAL BOUNDARY SURVEYING & MAPPING ASSOCIATE INC. AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CRAVEN THOMPSON & ASSOCIATES, INC. IN WILMING OHIO. INC. LICENSED SURVEYOR # 000000000

GRIFFIN COMMERCIAL SITE
GRIFFIN ROAD & S.W. 26th AVENUE
PREPARED FOR:
SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01

S-2

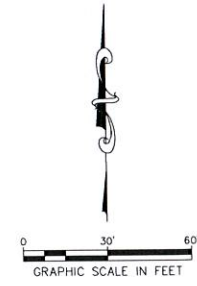
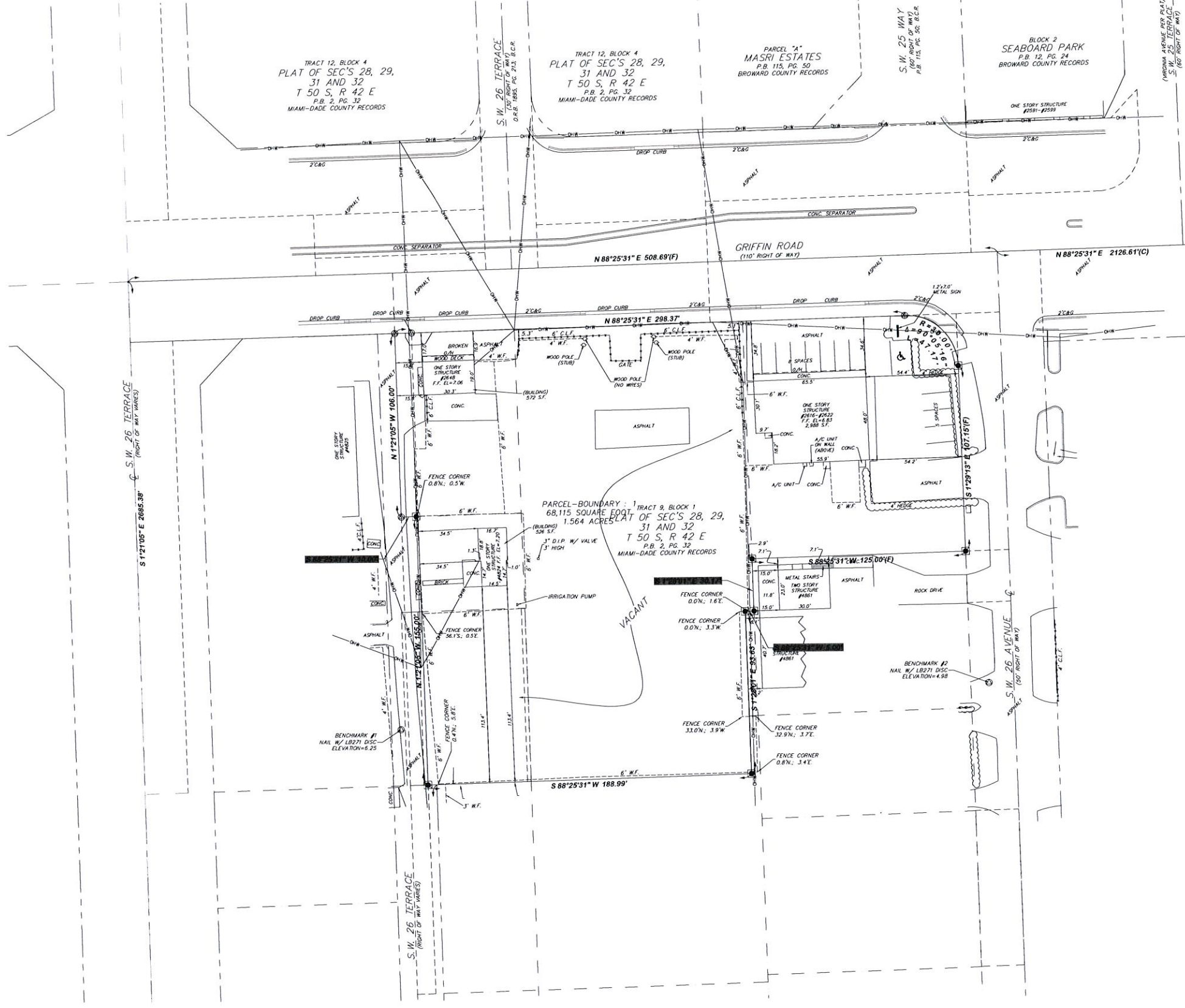
SHEET **2** OF **3**

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

ELEVATIONS SHOWN HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	10-03-13
SCALE:	1"=30'
DRAWN BY:	RY
CHECKED BY:	TCS
FIELD BOOK:	2597
DATE:	10-04-13
BY:	RY
DATE:	4-7-13
BY:	RY
DATE:	4-7-13
BY:	RY



TREE LIST

PT.#	DESCRIPTION
900	6" TWN UNKNOWN
901	36" CLUSTER ARECA PALM BH=6'
902	60" BANYAN TREE
903	3' BANYAN TREE
904	8" CHINESE FAN PALM BH=6"
905	12" ARECA BAMBOO PALM BH=6"
906	4" UNKNOWN
907	3" GUMBO LIMBO
1239	10" COCONUT PALM BH=30'
1240	16" SCREW PINE
1477	10" QUEEN PALM BH=30"
1599	12" COCONUT PALM BH=5'
1600	10" QUEEN PALM BH=14'
1634	36" BANYAN TREE
1661	3" UNKNOWN
1687	18" OAK
1696	20" BLACK OLIVE
1707	18" GUMBO LIMBO
1708	10" COCONUT PALM BH=30'
1731	18" OAK
1792	14" OAK
1812	36" OAK
1871	30" MALALEUCA
1872	18" SCHEFFLERA
1873	6" ALEXANDER PALM BH=22"
1874	6" ALEXANDER PALM BH=22"
1875	6" ALEXANDER PALM BH=22"
1876	6" ALEXANDER PALM BH=22"
1877	6" ALEXANDER PALM BH=22"
1878	6" ALEXANDER PALM BH=22"
1879	6" ALEXANDER PALM BH=22"
1880	6" ALEXANDER PALM BH=22"
1881	6" ALEXANDER PALM BH=22"

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
PH: (954) 739-8405 TEL: (954) 739-8400
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114
FLORIDA LICENSED BUSINESS ARCHITECTURE BUSINESS NO. 0000114
MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

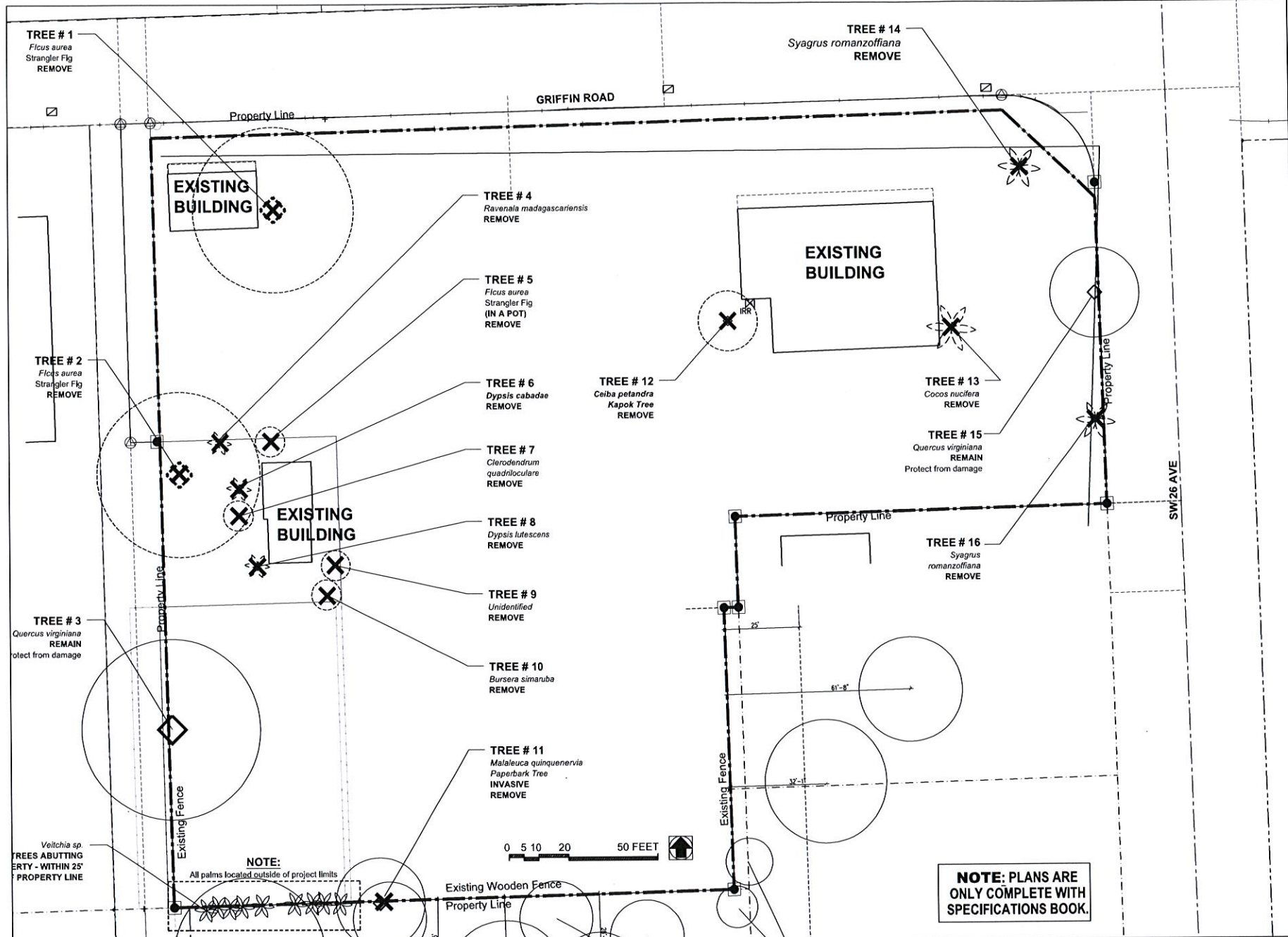
GRIFFIN COMMERCIAL SITE
GRIFFIN ROAD & S.W. 26th AVENUE
PREPARED FOR:
SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01
S-3
SHEET **3** OF **3**

SEE SHEET S-1 FOR DESCRIPTION, SURVEYOR'S NOTES, CERTIFICATION, LEGENDS AND LOCATION SKETCH
SEE SHEET S-2 FOR SITE BOUNDARY INFORMATION

THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

H:\Sharon\Kash\Survey\Updated Survey\13-0033-CALCS - report to 2004_10-23-14\13-0033-CALCS.dwg [5-] Oct 27, 2014 12:19pm CSD0771



- ### TREE PROTECTION GENERAL NOTES
- All plans are incomplete without project specifications book.
 - All construction around existing trees to be field verified and adjusted accordingly with prior approval by Landscape Architect.
 - Before beginning work, the Contractor is required to meet with the Registered Consulting Arborist and the Landscape Architect at the site to review all work procedures, access routes, storage areas, and tree protection measures.
 - Fences shall be erected to protect trees to be preserved. Fences define a specific protection zone for each tree or group of trees. **ALL TREE FENCE PROTECTION SHALL BE ERRECTED BEFORE STARTING ANY TYPE OF DEMOLITION, GRADING OR CONSTRUCTION ACTIVITIES.** Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Registered Consulting Arborist and the Landscape Architect.
 - Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
 - All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree. Prior to any digging the Contractor shall get approval from the Registered Consulting Arborist and the Landscape Architect.
 - No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
 - Additional tree pruning required for clearance during construction must be performed by a qualified certified arborist and not by construction personnel. All pruning shall be approved by the Registered Consulting Arborist and the Landscape Architect. **ALL TREE PRUNING SHALL BE CONDUCTED FOLLOWING ANSI A-300 STANDARDS.**
 - Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
 - If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Registered Consulting Arborist and the Landscape Architect so that appropriate treatments can be applied.
 - Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Registered Consulting Arborist and/or the Landscape Architect.
 - Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.
 - Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
 - Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw. Notify immediately the Registered Consulting Arborist and Landscape Architect about any root damage to existing trees.
 - If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be placed to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
 - Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
 - No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
 - Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.
 - As part of the contract**, all existing trees to remain (Tree # 3 and Tree # 15) as indicted in Tree Disposition Plan, shall be selectively pruned as per ANSI Standards, for maintaining or improving tree health and structure, improving aesthetics, or satisfying specific needs as requested by Landscape Architect, and furthermore, for the safety of the future users.
 - In the case that the existing trees to remain are damaged or die during construction or within the warranty period, the Contractor and his/her Landscape Contractor are responsible of replacement at no additional cost to the Owner and as part of the contract. **The replacement shall be as per tree mitigation requirements of the City of Dania Beach.**
 - Refer to additional Notes and Tree Protection Fence Detail 1 in LD-3.

1 TREE DISPOSITION PLAN
LD-1 SCALE: 1" = 20' - 0"

TREE DISPOSITION LIST - KOOSH COMMERCIAL CENTER									
No.	Scientific Name	Common Name	Trunk Diameter (Inches)	Height (feet)	Canopy Spread (feet)	Condition	DISPOSITION	Tree Mitigation (SQ. FEET)	Comments
1	<i>Ficus sp.</i>	Fig	42	50	45		REMOVE	1590	IN WAY OF CONSTRUCTION
2	<i>Ficus sp.</i>	Fig	72	45	45		REMOVE	1590	IN WAY OF CONSTRUCTION
3	<i>Quercus virginiana</i>	Live Oak	32	55	55	GOOD	REMAIN		PROTECT FROM DAMAGE
4	<i>Ravenala madagascariensis</i>	Travelers Palm	4	40	30		REMOVE	707	IN WAY OF CONSTRUCTION
5	<i>Ficus aurea</i>	Strangler Fig	6	12	8		REMOVE	50	IN WAY OF CONSTRUCTION
6	<i>Dyopsis cabadae</i>	Cabada Palm	10	40	30		REMOVE	707	IN WAY OF CONSTRUCTION
7	<i>Clerodendrum paniculatum</i>	Pagoda Flower	4	60	40		REMOVE	1256	IN WAY OF CONSTRUCTION
8	<i>Dyopsis lutescens</i>	Areca Palm	11	40	30		REMOVE	707	IN WAY OF CONSTRUCTION
9	<i>Clerodendrum paniculatum</i>	Pagoda Flower	3	40	10		REMOVE	79	IN WAY OF CONSTRUCTION
10	<i>Bursera simaruba</i>	Gumbo Limbo	3	9	7		REMOVE	38	IN WAY OF CONSTRUCTION
11	<i>Malaleuca quinquenervia</i>	Paperback Tree	24	28	8		REMOVE	50	IN WAY OF CONSTRUCTION
12	<i>Ceiba petandra</i>	Kapok Tree	8	12	20		REMOVE	314	IN WAY OF CONSTRUCTION
13	<i>Cocos nucifera</i>	Coconut Palm	8	40	50		REMOVE	1963	IN WAY OF CONSTRUCTION
14	<i>Syagrus romanzoffiana</i>	Queen Palm	6	60	40		REMOVE	1256	IN WAY OF CONSTRUCTION
15	<i>Quercus virginiana</i>	Live Oak	7	60	65	GOOD	REMAIN		PROTECT FROM DAMAGE
16	<i>Syagrus romanzoffiana</i>	Queen Palm	6	60	40		REMOVE	1256	IN WAY OF CONSTRUCTION
Total Sq. Footage of Tree Canopy to be Mitigated:								11561	

2 TREE DISPOSITION CHART
LD-1 SCALE: N.T.S.

MITIGATION REQUIREMENTS:
As per Section 825-100 - Tree Replacement:
"For trees removed on all new or amended developments pursuant to subsection 825 - 80(B) an additional fifty (50) percent tree replacement shall be required."
1) Mitigation Requirement:
50% of 11561 sq. ft. = 5781 sq. ft.
Total: 17,342 sq. ft.
17,342 sq. ft. / 500 = 35 Trees (16' ht.)
2) Previous Mitigation Requirement:
100 Trees (12' ht.) x 300 = 30,000 sf
30,000 sf / 500 = 60 Trees (16' ht.)
TOTAL MITIGATION: 95 Trees (16' ht.)

3 TREE PROTECTION NOTES
LD-1 SCALE: N.T.S.

MADY & ASSOCIATES, INC.
AA002791
ARCHITECTS
PLANNERS
INTERIORS
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LC26900233
717 Ponce de Leon #223
Coral Gables, FL 33134
Ph: 305-567-6110
Fax: 305-913-2219

KOOSH RETAIL CENTER
DANIA BEACH, FL

SITE PLAN REVIEW

NOTE:
REVISIONS CHANGES AND DISCREPANCIES WITH PROJECT SPECIFICATIONS BOOK

Leticia Fernandez-Beraud
Registered Landscape Architect
LA 6444730

Revisions		
No.	Date	Description

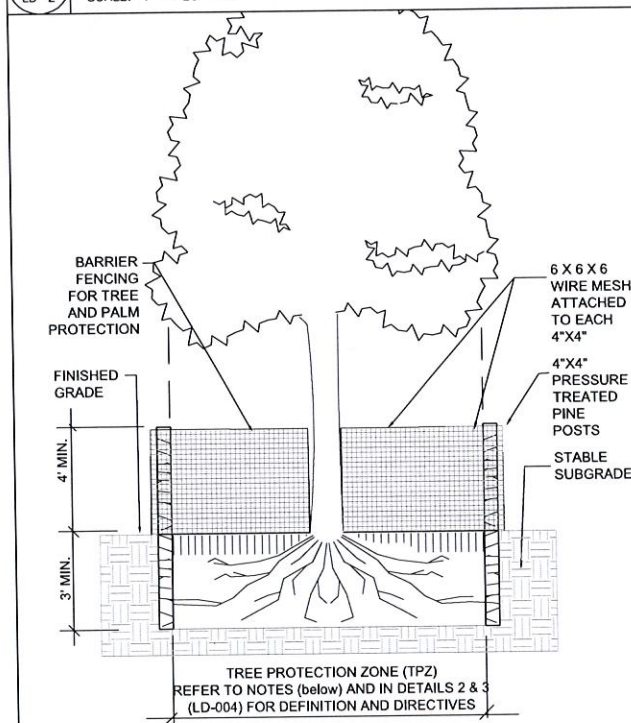
Date: 02/06/2019
Drawn by: LD-LFB
Created by: LFB
Scale: AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

Sheet Title:
TREE DISPOSITION PLAN
Sheet:
LD-1



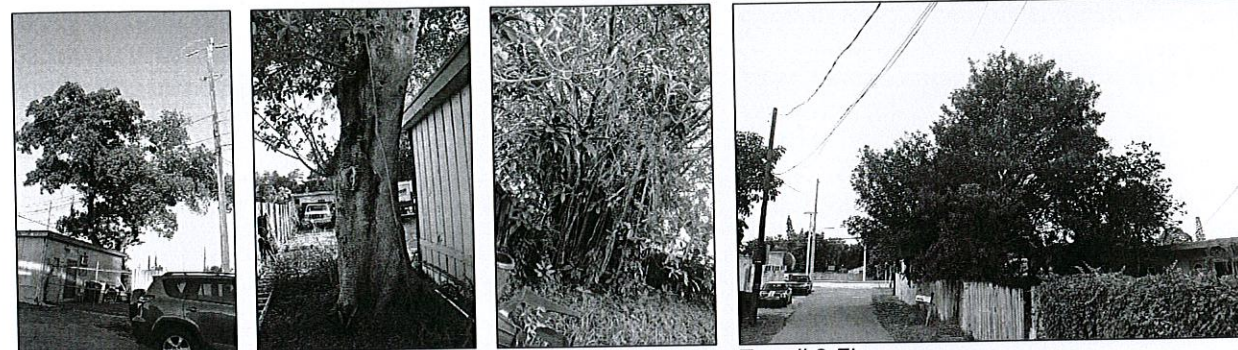
1 AERIAL PHOTOGRAPH
LD-2 SCALE: 1" = 20' - 0"



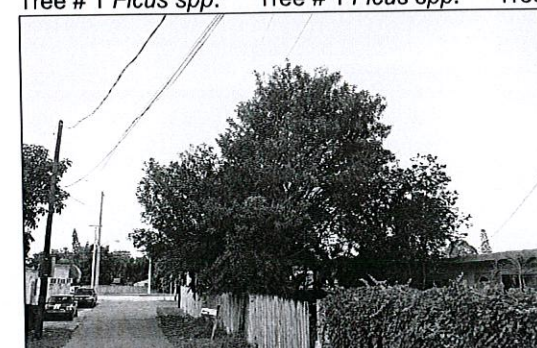
NOTES:

- THIS TREE AND PALM FENCE PROTECTION DETAIL IS FOR ALL EXISTING TO REMAIN AND RELOCATED TREES AND PALMS WITHIN THE PROJECT LIMITS.
- The TPZ shall be defined as the area directly beneath the canopy of the tree, with a minimum diameter equal to or greater than :
a) Tree Canopy diameter; or,
b) 0.75 feet for each inch of trunk diameter, WHICHEVER NUMBER IS GREATER.
In some areas, groups or clusters of trees shall be designated as a TPZ, as directed by the Consulting Arborist and/or Landscape Architect. Each TPZ shall be delineated using barrier fencing as per detail shown above.
- Protection Fencing to go around the TPZ of all trees to remain and to be relocated, as per Tree Disposition Plans and Specifications 02481-Tree Relocation and Protection.
- THE STANDARD ORANGE FLEXIBLE AND TEMPORARY FENCE WILL NOT BE ACCEPTABLE FOR THIS PROJECT. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCES AS PER DETAIL SHOWN TO THE LEFT.

2 NOT USED
LD-2 SCALE: N/A



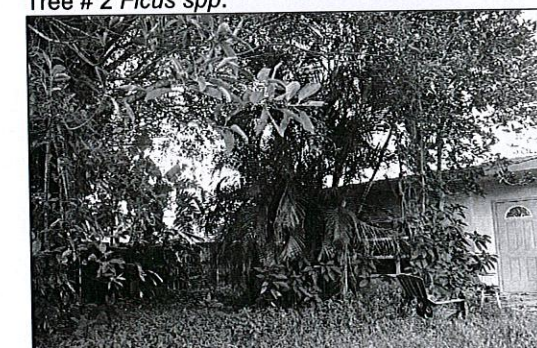
Tree # 1 *Ficus* spp. Tree # 1 *Ficus* spp. Tree # 2 *Ficus* spp. Tree # 2 *Ficus* spp.



Tree # 2 *Ficus* spp.



Tree # 3 *Quercus virginiana* REMAIN



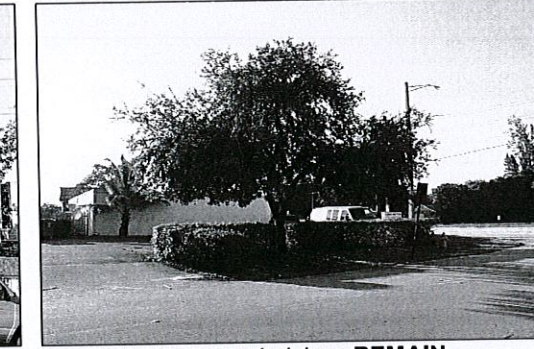
Tree # 6 *Dyopsis cabadae*
Tree # 7 *Clerodendrum paniculatum*



Tree # 8 *Dyopsis lutescens*
Tree # 9 *Clerodendrum paniculatum*
Tree # 10 *Bursera simaruba*



Tree # 14 *Syagrus romanzoffiana*



Tree # 15 *Quercus virginiana* REMAIN



Tree # 15 *Quercus virginiana* REMAIN



Tree # 16 *Syagrus romanzoffiana*



TREES in adjacent property

3 EXISTING TREES PHOTOGRAPHS
LD-2 SCALE: N.T.S.

WADY
& ASSOCIATES, INC.
AA0002791
ARCHITECTS
PLANNERS
INTERIORS
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LC26000233
717 Parice de Leon #223
Coral Gables, FL 33134
Ph: 305-567-0110
Fax: 305-913-2210

Project Name:
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number:

Owner Project Number:

Sheet No.:
SITE PLAN REVIEW

NOTE:
PROFESSIONAL CHANGES TO THIS PROJECT SHALL BE MADE IN THE PROJECT MANUAL.

Leticia Fernandez-Beraud
Registered Landscape Architect
LA 6666730

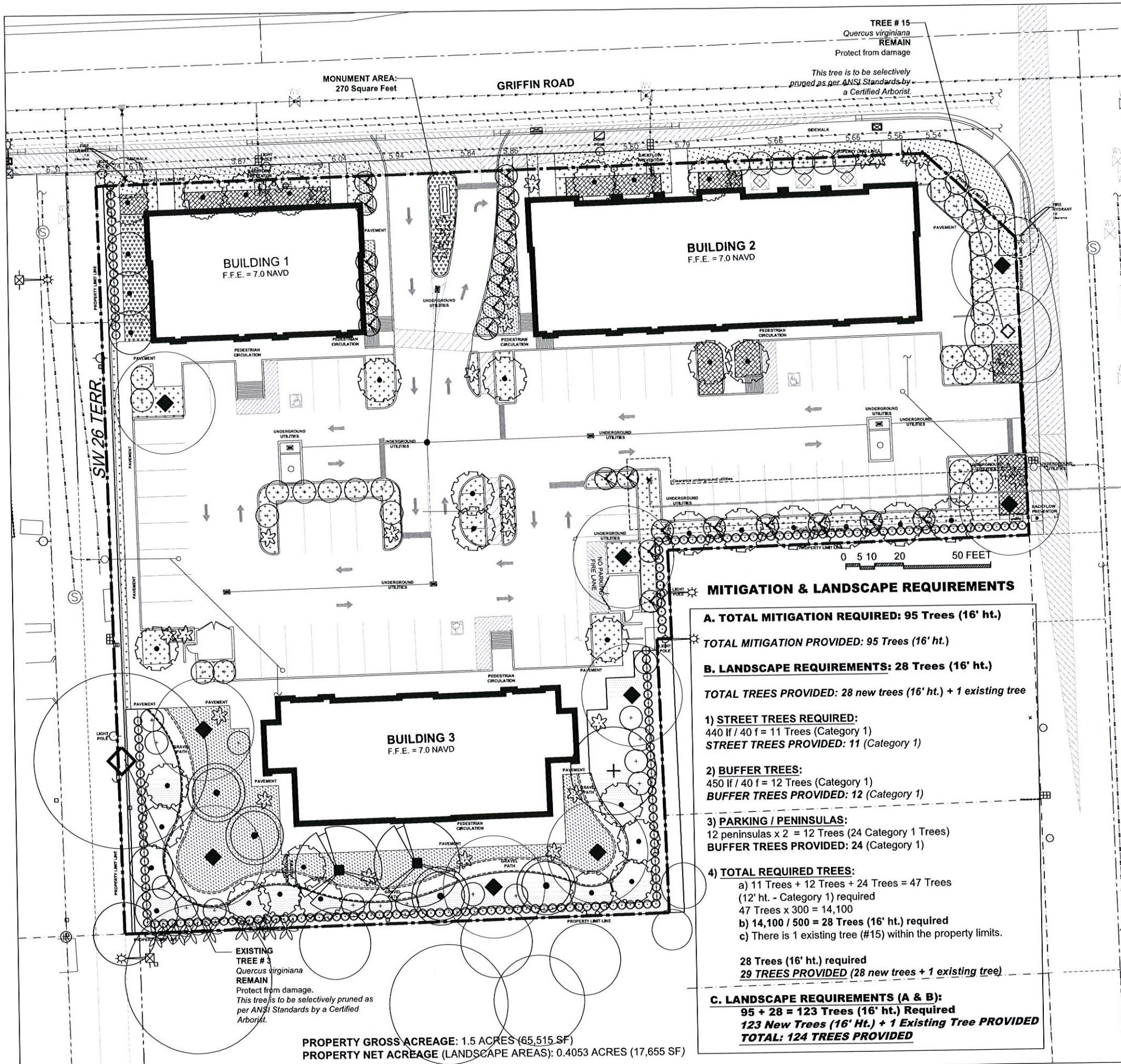
Revisions		
No.	Date	Description

Date: 02/06/2015
Drawn by: LD-LFB
Checked by: LFB
Scale: AS SHOWN

COPYRIGHT 2015 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF WADY & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF WADY & ASSOCIATES, INC. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF WADY & ASSOCIATES, INC. IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.

Sheet No.:
AERIAL AND SITE PHOTOGRAPHS

Sheet:
LD-2



TREE # 15
Quercus virginiana
REMAIN
 Protect from damage
 This tree is to be selectively pruned as per ANSI Standards by a Certified Arborist.

BUILDING 1
 F.F.E. = 7.0 NAVD

BUILDING 2
 F.F.E. = 7.0 NAVD

BUILDING 3
 F.F.E. = 7.0 NAVD

EXISTING TREE # 3
Quercus virginiana
REMAIN
 Protect from damage.
 This tree is to be selectively pruned as per ANSI Standards by a Certified Arborist.

PROPERTY GROSS ACREAGE: 1.5 ACRES (65,515 SF)
PROPERTY NET ACREAGE (LANDSCAPE AREAS): 0.4053 ACRES (17,655 SF)

MITIGATION & LANDSCAPE REQUIREMENTS

A. TOTAL MITIGATION REQUIRED: 95 Trees (16' ht.)
TOTAL MITIGATION PROVIDED: 95 Trees (16' ht.)

B. LANDSCAPE REQUIREMENTS: 28 Trees (16' ht.)
TOTAL TREES PROVIDED: 28 new trees (16' ht.) + 1 existing tree

1) STREET TREES REQUIRED:
 440 lf / 40 f = 11 Trees (Category 1)
STREET TREES PROVIDED: 11 (Category 1)

2) BUFFER TREES:
 450 lf / 40 f = 12 Trees (Category 1)
BUFFER TREES PROVIDED: 12 (Category 1)

3) PARKING / PENINSULAS:
 12 peninsulas x 2 = 24 Trees (24 Category 1 Trees)
BUFFER TREES PROVIDED: 24 (Category 1)

4) TOTAL REQUIRED TREES:
 a) 11 Trees + 12 Trees + 24 Trees = 47 Trees (12' ht. - Category 1) required
 47 Trees x 300 = 14,100
 b) 14,100 / 500 = 28 Trees (16' ht.) required
 c) There is 1 existing tree (#15) within the property limits.

28 Trees (16' ht.) required
29 TREES PROVIDED (28 new trees + 1 existing tree)

C. LANDSCAPE REQUIREMENTS (A & B):
95 + 28 = 123 Trees (16' ht.) Required
123 New Trees (16' Ht.) + 1 Existing Tree PROVIDED
TOTAL: 124 TREES PROVIDED

LANDSCAPE LEGEND & QUANTITY		
TREES & PALMS		
TREE PLANTING (LARGE PLANTS)		<i>Chrysophyllum oliviforme</i> - Salt Leaf 14' - 16' Overall Height - Florida No. 1 - 7' clear trunk - FLORIDA NATIVE Quantity: 4 (each)
TREE PLANTING (LARGE PLANTS)		<i>Conocarpus erectus</i> / Green Buttonwood 16' Overall height - Florida No. 1 - Single trunk - 7' clear trunk - FLORIDA NATIVE Quantity: 5 (each)
TREE PLANTING (LARGE PLANTS)		<i>Coccoloba diversifolia</i> / Pigeon Plum 16' Overall height - Florida No. 1 - Male species only - 7' clear trunk - FLORIDA NATIVE Quantity: 24 (each)
TREE PLANTING (LARGE PLANTS)		<i>Eugenia foetida</i> - Spanish Stopper 12' overall height - Standard - Florida No. 1 - Single trunk - 5' clear trunk - FLORIDA NATIVE Quantity: 24 (each)
TREE PLANTING (LARGE PLANTS)		<i>Lagerstemia indica</i> 'Red Rock' / Cape Myrtle 12' - 14' Overall height - Florida No. 1 - Multitrunk - 3.5'-4' clear trunk - NOT A FLORIDA NATIVE Quantity: 7 (each)
TREE PLANTING (LARGE PLANTS)		<i>Lysitoma latifolia</i> - Wild Tamarind FG - 16' - 18' overall height - 1.5'-2.5' cal - Single leader - 5' clear trunk - FLORIDA NATIVE Quantity: 1 (each)
TREE PLANTING (LARGE PLANTS)		<i>Myrciathes fragrans</i> / Simpson's Stopper 16' Overall height - Florida No. 1 - Multitrunk - 4' clear trunk - FLORIDA NATIVE Quantity: 51 (each)
TREE PLANTING (LARGE PLANTS)		<i>Quercus virginiana</i> - Live Oak 100 Gal - 16' overall height - 4" cal - Single leader - 7' clear trunk - FLORIDA NATIVE Quantity: 9 (each)
TREE PLANTING (LARGE PLANTS)		<i>Thrinax radiata</i> / Florida Thatch Palm 7 Gal - 3' Overall height - Florida No. 1 FLORIDA NATIVE Quantity: 29 (each)
SHRUBS, GROUNDCOVER & SOD		
SHRUB PLANTING (SMALL PLANTS)		<i>Chrysobalanus icaco</i> 'Red Tip' / Cocoplum 3 Gal - FLORIDA NATIVE Quantity: 185 (each)
SHRUB PLANTING (SMALL PLANTS)		<i>Ficus microcarpa</i> 'Green Island' / Green Island Ficus 3 Gal (12" canopy x 12" ht) - Florida No. 1 - Install at 24" on center - NOT A FLORIDA NATIVE ALT: <i>Ilex vomitoria</i> Stokes / Dwarf Holly Quantity: To be determined (TBD) (each) / Area: (TBD) (sq. ft.)
SHRUB PLANTING (SMALL PLANTS)		<i>Microsorium scolopendria</i> / Wart Fern 3 Gal (12" canopy x 12" ht) - Florida No. 1 - Install at 24" on center Quantity: (TBD) (each) / Area: (TBD) (sq. ft.)
SHRUB PLANTING (SMALL PLANTS)		<i>Tripsacum floridanum</i> / Florida Gama Grass 3 Gal (22"-24" ht) - Florida No. 1 - Install at 24" on center FLORIDA NATIVE Quantity: (TBD) (each) / Area: (TBD) (sq. ft.)
SHRUB PLANTING (SMALL PLANTS)		<i>Pentas lanceolata</i> / RED Pentas 3 Gal (12"-14" ht) - Florida No. 1 - Install at 18" on center ALTERNATIVE: <i>Ruellia brittoniana</i> Quantity: (TBD) (each) / Area: (TBD) (sq. ft.) FLOWERING - NOT A FLORIDA NATIVE
MULCH (NATIVE AREA)		3" Mulch - In native area towards the property line Quantity: (TBD) (each) / Area: (TBD) (sq. ft.)
SOD		<i>St. Augustine Grass</i> Quantity: (TBD) (each) / Area: (TBD) (sq. ft.)

NOTE: ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.

0 5 10 20 50 FEET

1 LANDSCAPE PLAN
 LA-1 SCALE: 1/16"=1'-0"

2 LANDSCAPE LEGEND
 LA-1 SCALE: 1/16"=1'-0"

MADY & ASSOCIATES, INC.
 AA0002791
 ARCHITECTS
 PLANNERS
 INTERIORS
 12124 S.W. 131 AVENUE
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
 Landscape Architecture and Planning
 LC26000233
 717 Ponce de Leon #233
 Coral Gables, FL 33134
 Ph: 305-567-0110
 Fax: 305-613-2210

KOOSH RETAIL CENTER
 DANIA BEACH, FL

SITE PLAN REVIEW

NOTE:
 REGISTERED LANDSCAPE ARCHITECT
 Leticia Fernandez-Beraud
 Registered Landscape Architect
 LA 664730

Revisions	
No.	Description

Date: 02.06.2013
 Drawn by: LD-LTB
 Checked by: LTB
 Scale: AS SHOWN

Copyright 2013 by Mady & Associates, Inc. All rights reserved. These drawings are prepared for the use of the contractor and shall remain the property of Mady & Associates, Inc. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Mady & Associates, Inc. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided on these drawings. The contractor shall be responsible for the accuracy of the information provided on these drawings. The contractor shall be responsible for the accuracy of the information provided on these drawings.

LANDSCAPE PLAN

Sheet
LA-1

GENERAL NOTES

- ALL PLANS ARE COMPLETE ONLY WITH LANDSCAPE SPECIFICATIONS (32 90 00 Landscaping), LANDSCAPE DRAWINGS AND LANDSCAPE SPECIFICATION BOOK (32 90 00 Landscaping) ARE INTEGRAL TO THE CONSTRUCTION DOCUMENTATION SET. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO FOLLOW ALL REQUIREMENTS OF THE LANDSCAPE ARCHITECTURAL PLANS AND THE SPECIFICATION BOOK.
- The Contractor and his/her landscape sub-contractor are responsible to keep a complete set of landscape specifications at the construction site, as part of the reference construction documentation.
- IRRIGATION installation is part of this contract. ALL landscape areas are to be irrigated by an automatic irrigation system.
- The Contractor and his/her landscape sub-contractor are responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility lines.
- The Contractor and his/her landscape sub-contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
- The Contractor and his/her landscape sub-contractor are responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect and the Owner in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior written consent of the Landscape Architect. Plant material supply is the responsibility of the Contractor and his/her landscape sub-contractor and they shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- The Contractor and his/her landscape sub-contractor are responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Contractor and his/her landscape sub-contractor are responsible to **remove and discard from site existing unwanted and invasive trees**, palms, left over stumps and roots, shrubs, groundcovers, sod and weeds within project landscape areas.

PLANTING NOTES

- The Contractor and his/her landscape sub-contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, seed, soil, and mulch.
- The Contractor and his/her landscape sub-contractor shall guarantee all plant material. Refer to Specifications for guarantee time requirements.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- The Contractor and his/her landscape sub-contractor are responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- The Contractor and his/her landscape sub-contractor shall coordinate his work with that of the other sub-contractors, as necessary.
- The Contractor and his/her landscape sub-contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.** Contractor and Landscape Contractor are responsible to contact the Landscape Architect to inform about the schedule to coordinate a construction observation site visit.
- Planting soil shall be a mix of 20% inland muck and 80% freshwater sand. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil.
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- Refer to planting soil installation plans: The Contractor and Landscape Contractor are responsible to communicate to the Landscape Architect of the installation dates for construction observation of these areas. Refer to the specification book for soil requirements.
- Sod installation on all swales and slope areas around the ponds will be implemented as an erosion control measure, right after fine grading procedures and prior to the landscape installation of the entire project site. Warranty for sod installation of all slope areas along swales and around the ponds will start at the same time than the warranty of the sod of the rest of the site. Landscape Contractor is responsible to maintain sod along swales and around the ponds in a healthy condition. Landscape Contractor is responsible of replacing any dead sod areas along the slopes during the whole construction process and during the 365 days of landscape maintenance and manual watering period.
- A three-inch (3") layer of organic mulch will be provided in all newly planted areas that are not sodded areas.
- All trees are to be placed a minimum distance of six to eight feet (6'-8') from underground utility lines. Landscape Contractor is responsible to identify all site underground and overhead utilities, and in case of conflicts, make field modifications with prior approval by the Landscape Architect.
- A three-inch (3") layer of organic mulch will be provided in all newly planted areas that are not sodded areas.
- All trees are to be placed a minimum distance of six to eight feet (6'-8') from underground utility lines. Landscape Contractor is responsible to identify all site underground and overhead utilities, and in case of conflicts, make field modifications with prior approval by the Landscape Architect.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the plant pit before the trees are backfilled.
- The Contractor and his/her landscape sub-contractor are responsible for mulching all plant beds and planters with a minimum 3" layer of organic mulch, immediately after planting (refer to landscape specifications). In no case shall Cypress mulch be used. The Contractor and his/her landscape sub-contractor are responsible to submit a mulch sample with manufacturer's information to Landscape Architect for approval.
- All Trees/Palms in sod areas are to receive a 8'-9' diameter mulched saucer** at the base of the trunk respectively, with the specified grasses as per plans.
- The Contractor and his/her landscape sub-contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 5'-0" height clearance to the base of canopy.
- The Contractor and his/her landscape sub-contractor are responsible to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant: Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients; and, Shrubs, Groundcover and Trees: 6-6-6 N-P-K, with micronutrients.

LANDSCAPE PLAN NOTES - CITY OF DANIA BEACH STANDARD

- A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-924-0423 a minimum of 5 days prior to desired start date to schedule pre-construction meeting.
- All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the drip-line(s) if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
- All existing trees shall be pruned to ANSI A-300 standards to correct potential hazards.
- A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 954-924-6805 to obtain permit information.
- Landscape contractor shall notify Sunshine One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utilities from plant installation.
- Tree relocations:
 - Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation
 - Minimum root ball sizes shall be in accordance with ANSI standards as follows:
 Caliper Minimum Root Ball Diameter
 1 16
 2 24
 3 32
 4 42
 5 54
 6 60
 7 70
 8 80
 > 8 12 inches per inch of trunk diameter
 Transplanted trees with undersized root balls may be rejected by the City Arborist and replacement trees may be required.
 c. A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
- All planting must follow planting specifications and details shown on the plan.
- Substitutions of plant species or specifications must be approved in writing by the Dania Beach City Arborist prior to use.
- All plant material planted per this landscape plan shall be Florida Grade #1 or better, as specified in the current edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants. Damaged plant material shall be rejected and replaced prior to installation.
- All sizes shown for plant material are to be considered minimums.
- Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence
- All new plant material shall be warranted by the landscape contractor for a minimum period of one year. The warrantee period shall begin after acceptance of the plants by the City Arborist.
- All plant beds to be treated with pre-emergent herbicide prior to planting.
- All tree and palm staking and support shall be removed one year after installation.
- No fertilizer shall be applied to newly planted trees and palms.
- All landscape material shall be thoroughly watered at the time of planting, no dry planting permitted.
- Landscape contractor shall be responsible for providing temporary water provisions until such time as the irrigation system is operational.
- All wire guys and/or fabric straps shall be flagged with florescent colored tape.
- Mulching:
 - All landscape areas not covered by sod shall be covered by a minimum 3-inch layer of mulch.
 - A mulch ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms.
 - Cypress mulch shall not be used.
- All new landscaped areas shall be excavated down to a depth of 24 inches below final grade and back filled with clean debris-free soil. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
- All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-inch mulch layer.

MADY & ASSOCIATES, INC.
AA0002791
ARCHITECTS
PLANNERS
INTERIORS
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LC26000233
717 Ponce de Leon #223
Coral Gables, FL 33134
Ph: 305-567-0110
Fax: 305-513-2210

Project Name
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number

Owner Project Number

Scale For
SITE PLAN REVIEW

NOTE:
REGISTRATION NUMBER AND EXPIRATION DATE OF ARCHITECT
REGISTERED LANDSCAPE ARCHITECT
LA 4444730

Revisions		
No.	Date	Description

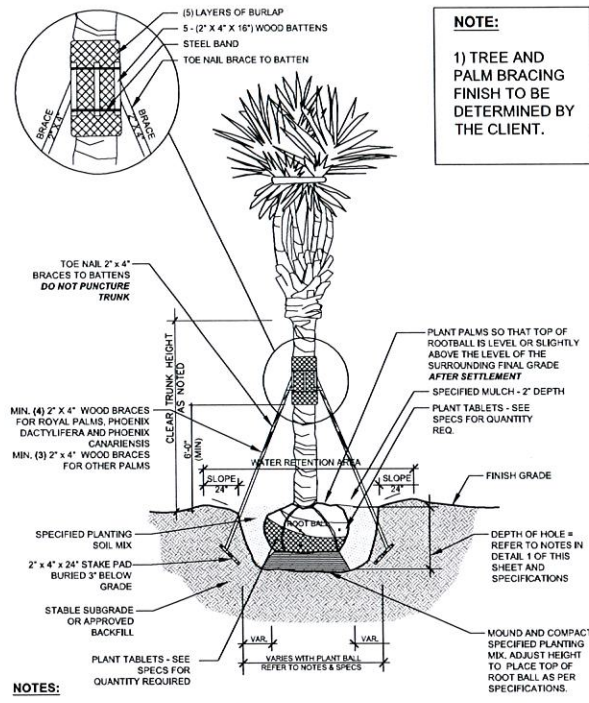
Date: 02/06/2015
Drawn by: LD-LFB
Checked by: LFB
Scale: AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.

Sheet Title:
PLANTING NOTES

Sheet:
LA-2

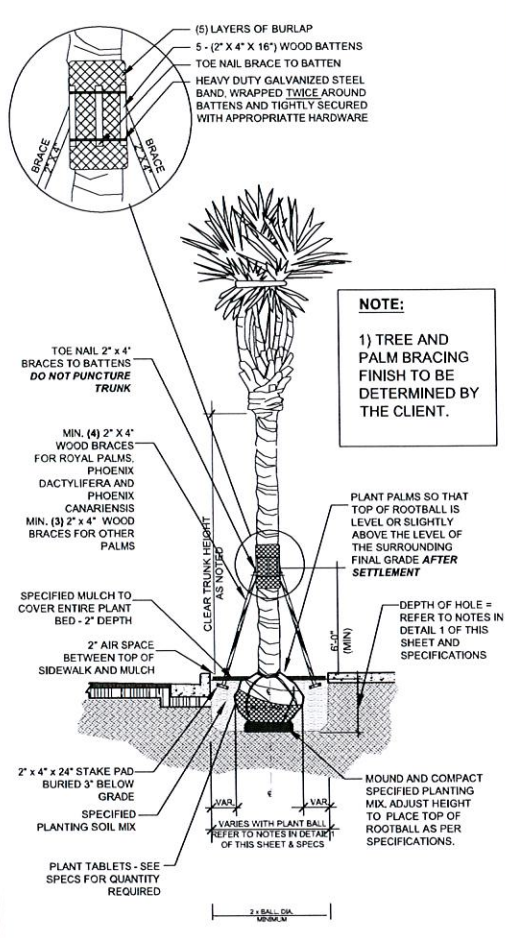
NOTE: PLANS ARE ONLY COMPLETE WITH SPECIFICATIONS BOOK.



NOTE:
1) TREE AND PALM BRACING FINISH TO BE DETERMINED BY THE CLIENT.

- NOTES:**
- 1) SECURE BATTENS WITH 2-3/4" HI CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROCESS.
 - 2) DO NOT NAIL BATTENS TO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
 - 3) PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR PLACEMENT ON THIS PROJECT OR JOB. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE SURROUNDING FINAL GRADE AFTER SETTLEMENT.
 - 4) DEPTH OF HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12 INCHES. UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AS PER SPECIFICATIONS (SECTION 32 90 00).
 - 5) DIAMETER OF HOLE SHALL BE AS FOLLOWS:
 ROOTBALL DIAMETER HOLE DIAMETER
 12" OR LESS BALL DIA. + 12"
 13" TO 24" BALL DIA. + 16"
 25" TO 60" BALL DIA. + 24"
 61" OR GREATER BALL DIA. + 36"

1 PALM PLANTING DETAIL/LANDSCAPE
LA-3 SCALE: N.T.S.

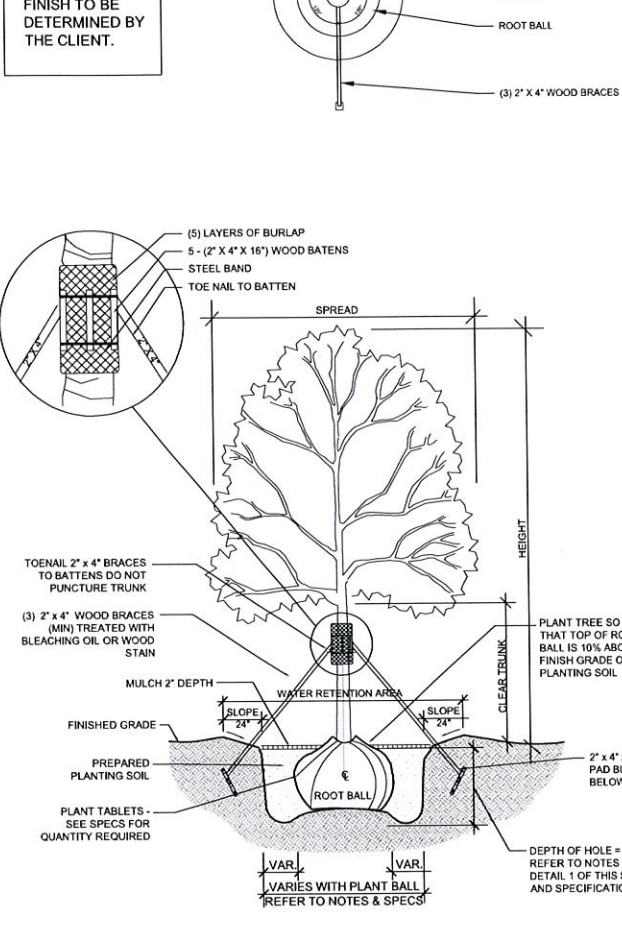


NOTE:
1) TREE AND PALM BRACING FINISH TO BE DETERMINED BY THE CLIENT.

- NOTES:**
- 1) SECURE BATTENS WITH 2-3/4" HI CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROCESS.
 - 2) DO NOT NAIL BATTENS TO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
 - 3) PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR PLACEMENT ON THIS PROJECT OR JOB. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE SURROUNDING FINAL GRADE AFTER SETTLEMENT.
 - 4) DEPTH OF HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12 INCHES. UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AS PER SPECIFICATIONS (SECTION 32 90 00).
 - 5) DIAMETER OF HOLE SHALL BE AS FOLLOWS:
 ROOTBALL DIAMETER HOLE DIAMETER
 12" OR LESS BALL DIA. + 12"
 13" TO 24" BALL DIA. + 16"
 25" TO 60" BALL DIA. + 24"
 61" OR GREATER BALL DIA. + 36"

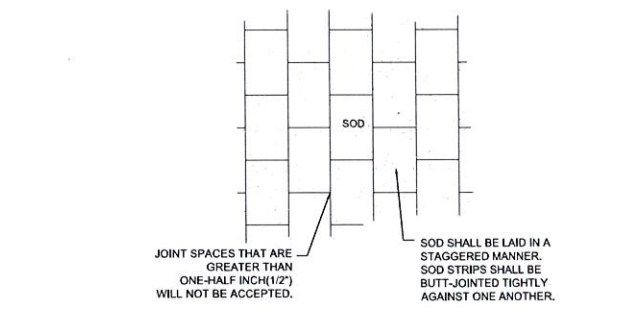
2 PALM PLANTING DETAIL/PAVEMENT
LA-3 SCALE: N.T.S.

NOTE:
1) TREE AND PALM BRACING FINISH TO BE DETERMINED BY THE CLIENT.

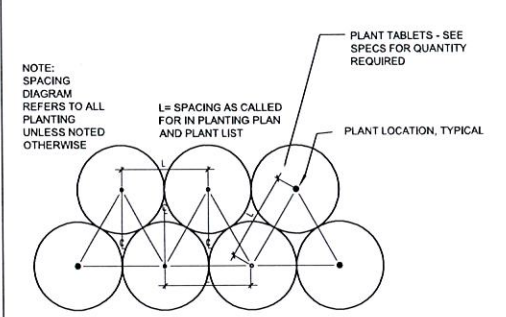


- NOTES:**
- 1) SECURE BATTENS WITH 2-3/4" HI CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROCESS.
 - 2) DO NOT NAIL BATTENS TO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
 - 3) PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR PLACEMENT ON THIS PROJECT OR JOB. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE SURROUNDING FINAL GRADE AFTER SETTLEMENT.
 - 4) DEPTH OF HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12 INCHES. UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AS PER SPECIFICATIONS (SECTION 32 90 00).
 - 5) DIAMETER OF HOLE SHALL BE AS FOLLOWS:
 ROOTBALL DIAMETER HOLE DIAMETER
 12" OR LESS BALL DIA. + 12"
 13" TO 24" BALL DIA. + 16"
 25" TO 60" BALL DIA. + 24"
 61" OR GREATER BALL DIA. + 36"

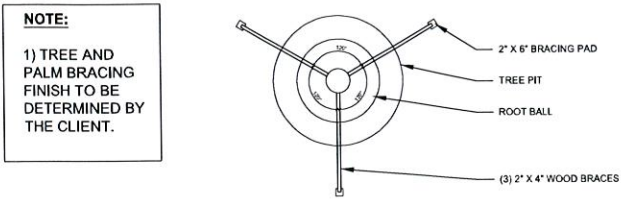
3 TREE PLANTING DETAIL/ LANDSCAPE
LA-3 SCALE: N.T.S.



4 SOD PLANTING DETAIL
LA-3 SCALE: N.T.S.

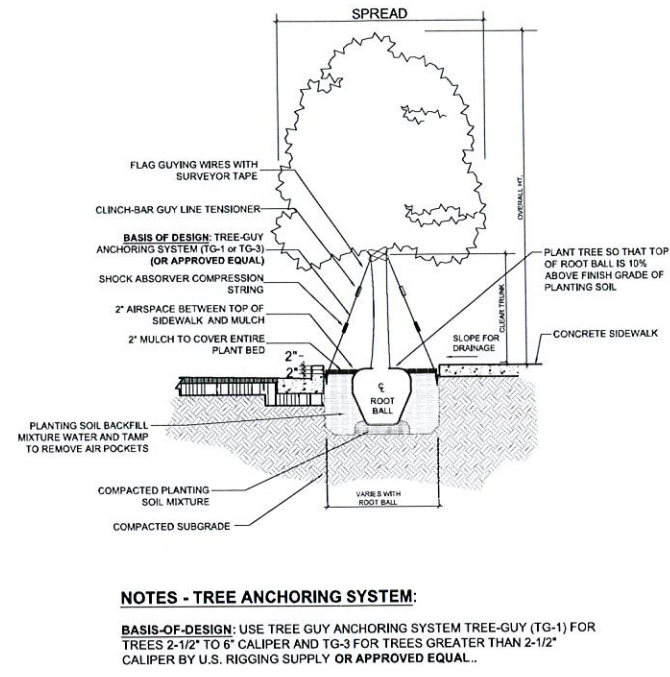


5 TRIANGULAR PLANTING DETAIL
LA-3 SCALE: N.T.S.



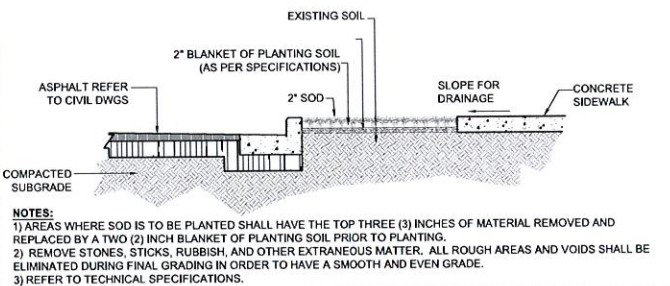
NOTE:
FOR PLANTING LOCATION REFER TO TRIANGULAR PLANTING

6 GROUNDCOVER PLANTING DET/PAVEMENT
LA-3 SCALE: N.T.S.

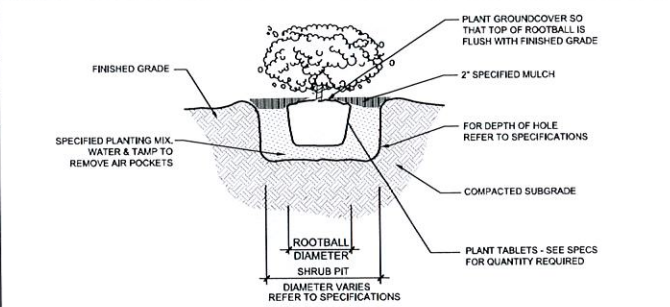


NOTES - TREE ANCHORING SYSTEM:
BASIS-OF-DESIGN: USE TREE GUY ANCHORING SYSTEM TREE-GUY (TG-1) FOR TREES 2-1/2" TO 6" CALIPER AND TG-3 FOR TREES GREATER THAN 2-1/2" CALIPER BY U.S. RIGGING SUPPLY OR APPROVED EQUAL...

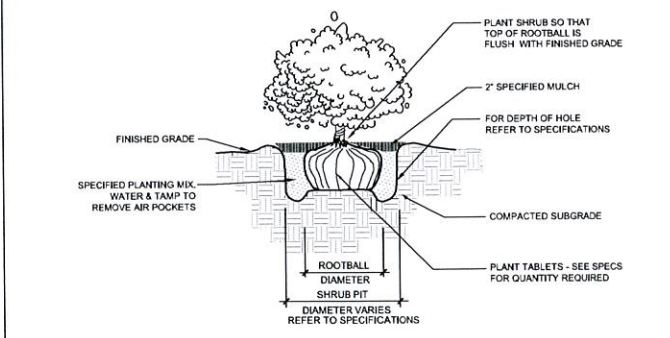
7 TREE PLANTING DETAIL/PAVEMENT
LA-3 SCALE: N.T.S.



8 SOD PLANTING DETAIL-PAVEMENT
LA-3 SCALE: N.T.S.



9 GROUND. PLANTING DET/LANDSCAPE
LA-3 SCALE: N.T.S.



10 SHRUB PLANTING DET/LANDSCAPE
LA-3 SCALE: N.T.S.

MADY & ASSOCIATES, INC.
AA0002791
ARCHITECTS
PLANNERS
INTERIORS
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LC26900233
717 Ponce de Leon #223
Coral Gables, FL 33134
Ph: 305-567-0110
Fax: 305-513-2210

KOOSH RETAIL CENTER
DANIA BEACH, FL

SITE PLAN REVIEW

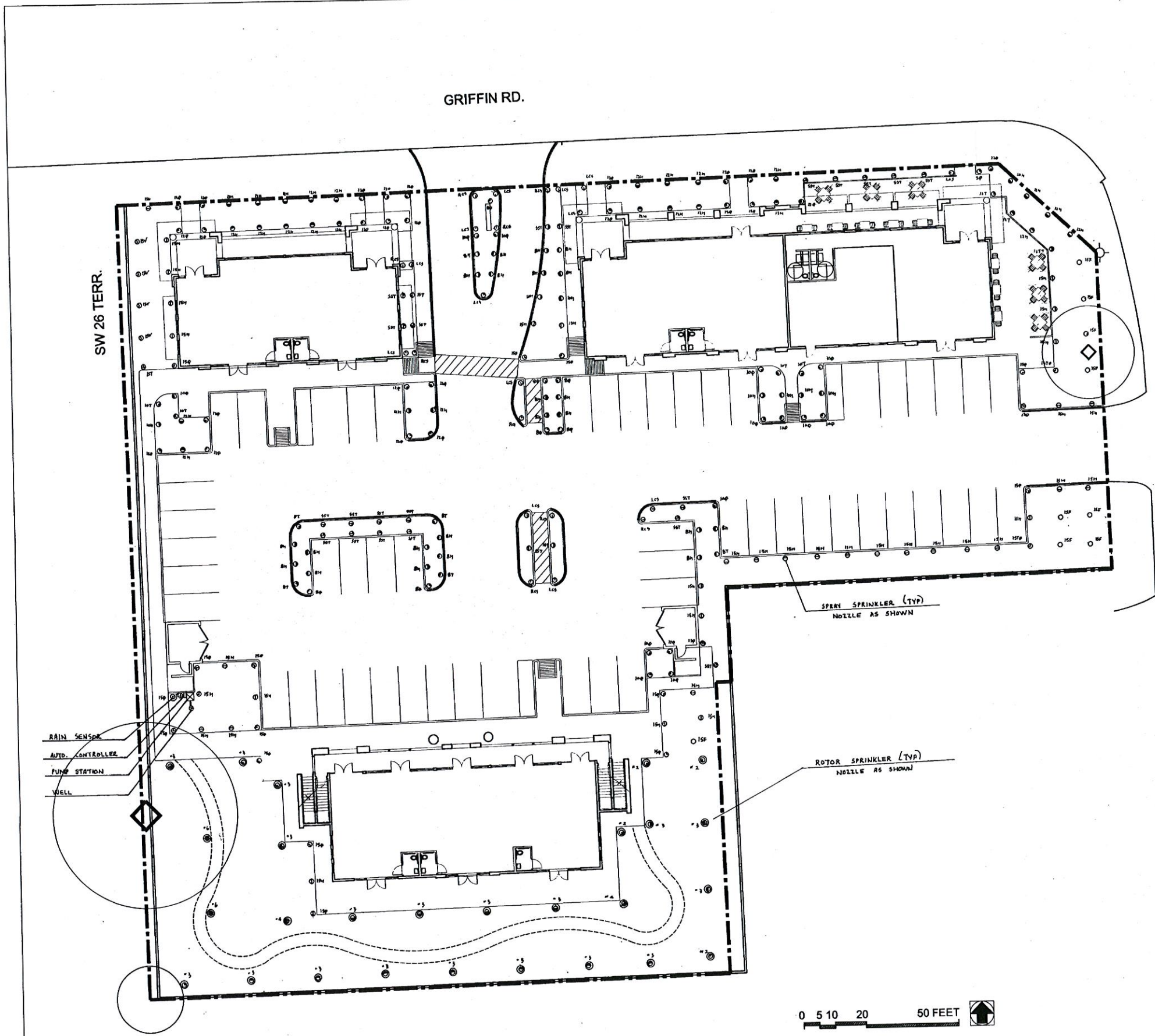
NOTE:
DESIGN FOR DRAINAGE AND RETENTION SHALL BE PROVIDED BY THE CLIENT.

Leticia Fernandez-Beraud
Registered Landscape Architect
LA 4644730

Revisions		
No.	Date	Description

Date: 02.06.2015
Drawn by: LD-LFB
Checked by: LFB
Scale: AS SHOWN

PLANTING DETAILS
Sheet
LA-3



1 IRRIGATION PLAN
U-01 SCALE: 1/16"=1'-0"

MADY
& ASSOCIATES, INC.
AA0002791
ARCHITECTS
PLANNERS
INTERIORS
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LCS000023
717 Ponce de Leon #223
Coral Gables, FL 33134
Ph: 305-567-9119
Fax: 305-913-2218

Project Name
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number

Owner Project Number

Issued For
SITE PLAN REVIEW



Revisions

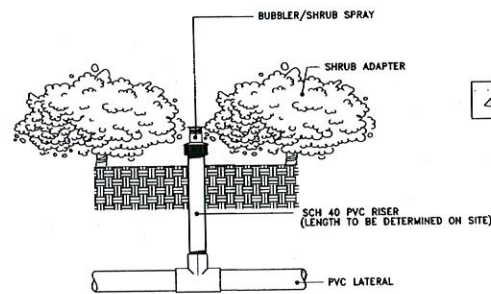
No.	Date	Description

Date: 11.28.2014
Drawn by: YD
Checked by: KD
Scale: AS SHOWN

COPYRIGHT BY ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MADY & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF MADY & ASSOCIATES, INC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF MADY & ASSOCIATES, INC. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE DRAWINGS.

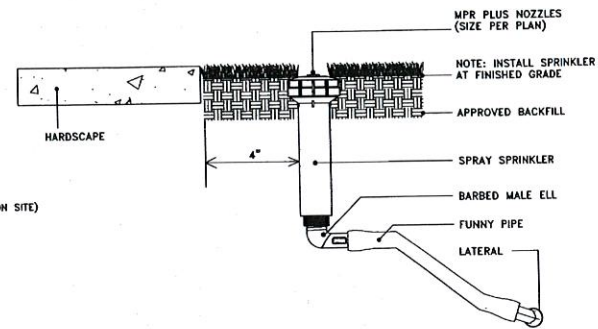
Sheet Title
IRRIGATION PLAN

Sheet
LI-1



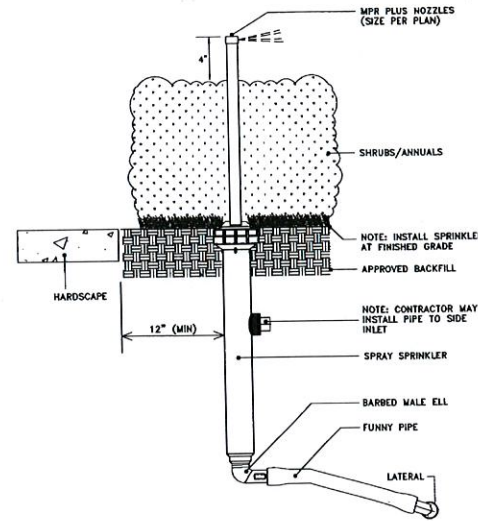
SPRINKLER DETAIL (NTS)

BUBBLER/SHRUB SPRAY
INSTALLED AT THE BASE OF
PLANTS FOR LOW LEVEL
WATERING



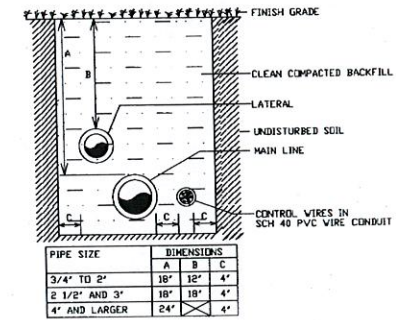
SPRINKLER DETAIL (NTS)

POP-UP SPRAY ON POLY
PIPE SWING JOINT LOCATED
IN SOD OR MULCH



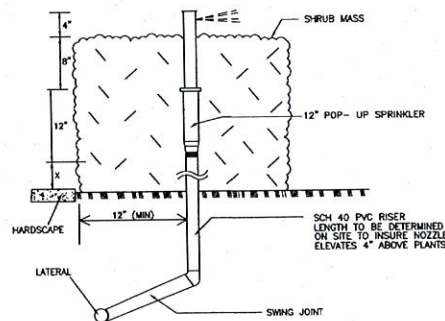
SPRINKLER DETAIL (NTS)

12" POP-UP SPRAY ON POLY PIPE SWING
JOINT LOCATED IN PLANTS MAINTAINED TO
A MAXIMUM HEIGHT OF 8".



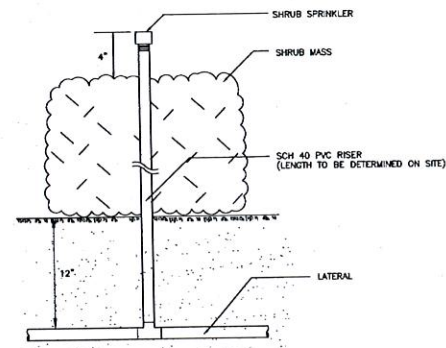
TRENCHING DETAIL (NTS)
NON-TRAFFIC AREAS

PIPE SIZE	DIMENSIONS		
	A	B	C
3/4" TO 2"	18"	12"	4"
2 1/2" AND 3"	18"	18"	4"
4" AND LARGER	24"	4"	4"



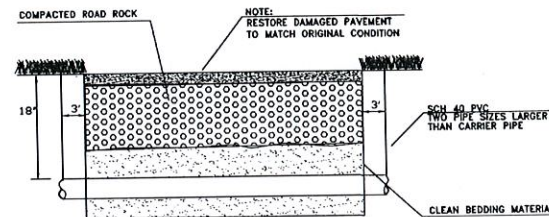
SPRINKLER DETAIL (NTS)

12" POP-UP ON PVC SWING
JOINT WITH RISER LOCATED IN
PLANT MASS MAINTAINED TO A
MINIMUM HEIGHT OF 24".

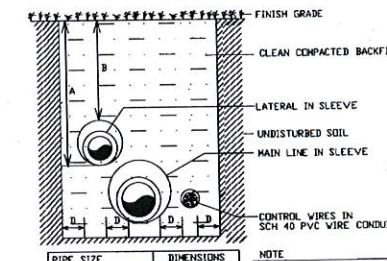


SPRINKLER DETAIL (NTS)

SHRUB SPRAY ON RISER
AT INTERIOR LOCATION IN
PLANT MASS.



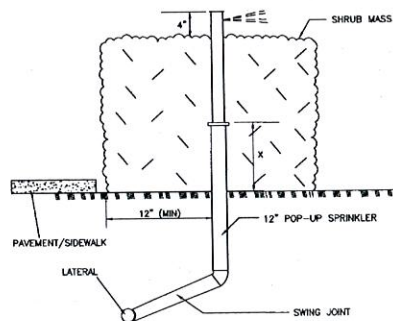
PIPE SLEEVE DETAIL
NOT TO SCALE



TRENCHING DETAIL (NTS)
VEHICULAR TRAFFIC AREAS

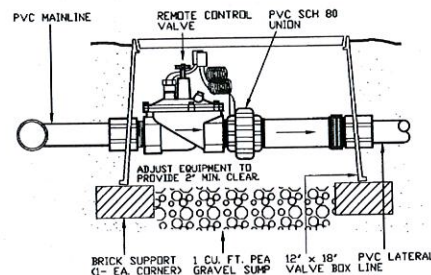
PIPE SIZE	DIMENSIONS		
	A	B	C
1 1/2" AND 2"	24"	18"	4"
3" AND 4"	30"	24"	4"
6" AND LARGER	36"	30"	4"

NOTE:
SLEEVES SHALL BE TWICE
THE DIAMETER OF THE LATERAL
OR WIRE BUNDLE CARRIED

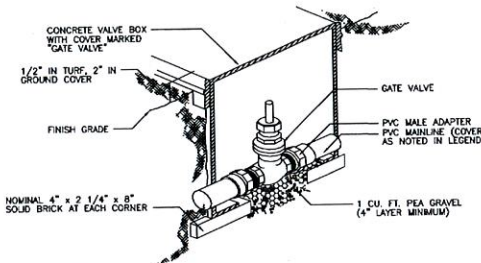


SPRINKLER DETAIL (NTS)

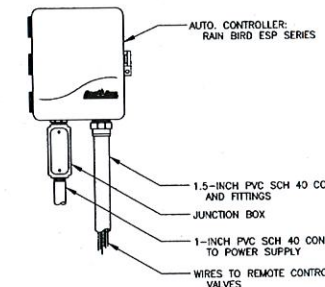
12" POP-UP INSTALLED ON PVC
SWING JOINT LOCATED IN PLANT
MASS MAINTAINED TO A MAXIMUM
HEIGHT OF 18".



REMOTE CONTROL VALVE DETAIL
NOT TO SCALE



GATE VALVE DETAIL
NOT TO SCALE



ESP AUTOMATIC CONTROLLER
NOT TO SCALE

MADY

ASSOCIATES, INC.

AA002791
ARCHITECTS
PLANNERS
INTERIORS

12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073



FERNANDEZ-BERAUD INC.
Landscape Architecture and Planning
LC2000233
717 Ponce de Leon #223
Coral Gables, FL 33134
PH: 305-561-0110
FAX: 305-813-2210

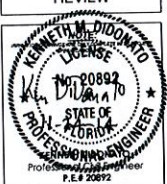
Project Name

**KOOSH RETAIL
CENTER**
DANIA BEACH, FL

Project Number

Owner Project Number

Sheet No. **SITE PLAN
REVIEW**



Revisions

No.	Date	Description

Date 11/28/2014

Drawn by MD

Checked by MD

Date AS SHOWN

Scale

Notes

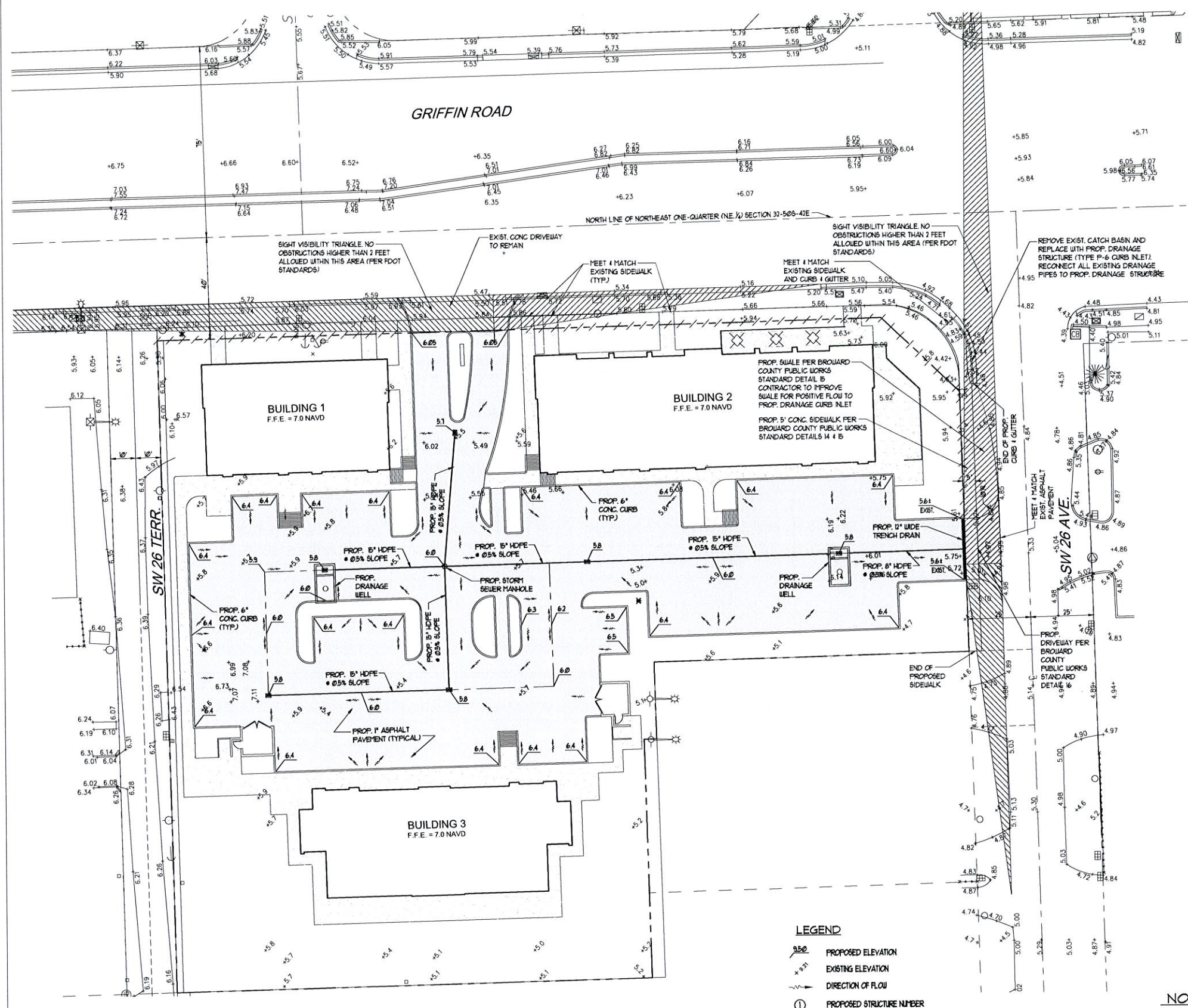
NOTICE: THIS DOCUMENT IS THE PROPERTY OF MADY ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF MADY ASSOCIATES, INC. THE USER'S SOLE RESPONSIBILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT SHALL BE THE USER'S.

Sheet Title

IRRIGATION DETAILS

Sheet

LI-2



GENERAL NOTES:

1. VERTICAL CONTROL POINTS AND ALL ELEVATIONS ARE BASED ON 1988 NAV DATUM.
2. THE CONTRACTOR SHALL CONFIRM ALL HORIZONTAL AND VERTICAL CONTROL POINTS PRIOR TO USE. THE CONTRACTOR SHALL CONFIRM ALIGNMENT AND ELEVATIONS OF ADJACENT WORK PRIOR TO BEGINNING CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S ATTENTION.
3. ALL EXISTING UTILITIES SHALL REMAIN IN SERVICE, UNLESS OTHERWISE NOTED.
4. USE EXTREME CAUTION NEAR ALL UTILITIES, CABLES, CONDUITS, AND MANHOLES. CONTRACTOR TO PROVIDE PROTECTION DURING CONSTRUCTION TO ASSURE SERVICE AT ALL TIMES. CONTRACTOR SHALL COORDINATE ALL SCHEDULES WITH FIELD REPRESENTATIVE PRIOR TO WORKING AROUND UTILITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH CURRENT SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES ON THE PLANS TO THE ENGINEER PRIOR TO COMMENCING WORK.
6. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE WORK LIMIT LINES AS SHOWN ON THE PLANS AND SHALL WORK WITHIN THE LIMITS AND DIMENSIONS SHOWN. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT. ANY DEVIATION FROM THE PLANS SHALL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO EXECUTING WORK.
7. GRADING SHALL CONSIST OF ALL EXCAVATION, BACKFILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL WORK AND OTHER AREAS, ALL IN ACCORDANCE WITH THE LAYOUT AND GRADES SHOWN ON THESE DRAWINGS. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND RESTORING ALL ADJACENT IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED WORK, PRIOR TO THE START OF ANY CONSTRUCTION, TO ARRANGE FOR PHYSICAL LOCATION AND ELEVATION OF ALL UNDERGROUND IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE UTILITY COMPANY SUFFICIENT NOTICE TO SCHEDULE ANY RELOCATION OF THEIR UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF ANY UTILITY THAT MAY BE IN CONFLICT WITH OR ENDANGERED BY THE PROPOSED WORK.
10. ALL OVERHEAD OR SURFACE STRUCTURES AND UTILITIES ENCOUNTERED ARE TO BE CAREFULLY PROTECTED FROM DAMAGE OR DISPLACEMENT. ALL DAMAGE TO SUCH STRUCTURES SHALL BE COMPLETELY REPAIRED WITHIN THE TIME FRAME OF THE CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO REMEDY SUCH DAMAGE BY ORDERING OUTSIDE PARTIES TO MAKE SUCH REPAIRS AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR MAY STORE EQUIPMENT AND MATERIALS WITHIN THE LIMITS OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THESE AREAS IN A CLEAN AND ORDERLY CONDITION SO AS NOT TO CAUSE A NUISANCE IN THE AREA. THE CONTRACTOR SHALL RESTORE THE STORAGE AREA TO ITS ORIGINAL OR BETTER CONDITION, WITH ALL ITS APPURTENANCES, IN KIND, TO THE SATISFACTION OF THE ENGINEER AND OWNER.
12. COMPLETE "AS-BUILT" INFORMATION RELATIVE TO LOCATION, SIZE AND DEPTH OF THE PROPOSED PIPES, STRUCTURES, AND OTHER IMPROVEMENTS SHALL BE ACCURATELY RECORDED. THIS INFORMATION SHALL BE SUBMITTED TO THE ENGINEER AS A CADD FILE AND AS A DRAWING SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AT THE CONTRACTOR'S EXPENSE.
13. THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON EXISTING UTILITY PLANS. NO SUBSURFACE VERIFICATION OF THE UTILITIES WAS MADE. SOME UTILITIES MAY NOT BE REFLECTED IN THESE PLANS. BEFORE EXCAVATION OR CONSTRUCTION, CONTACT THE SUNSHINE ONE CALL SERVICE (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION. SUBSURFACE CASINGS, DUCT BANKS, FOOTINGS FOUNDATIONS, AND OTHER SUBSURFACE FEATURES ARE NOT LOCATED OR SHOWN HEREON ARE TO BE VERIFIED BY CONTRACTOR BEFORE COMMENCING ANY WORK.
14. PROVIDE 6 FOOT VINYL VISUAL BARRIER ON ALL FENCING AT CONSTRUCTION LIMITS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY AND MAKING THE REPAIRS OF EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC. WHETHER OR NOT SHOWN ON THE PLANS, DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY TO THE ORIGINAL CONDITIONS OR BETTER AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGED SIDEWALK, DRIVEWAY, ETC. PRIOR TO BEGINNING WORK IN ANY AREA.
16. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, ORDINANCES OF THE CITY OF DANIA BEACH STANDARDS AND DETAILS, BROWARD COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES STANDARDS AND DETAILS, FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND DETAILS, AND BROWARD COUNTY STANDARDS AND DETAILS.

SITE DATA
 FLOOD ZONE FIR1 MAP PANEL No. 1201C0566H
 ZONE "AH" AND "X", DATED: 08-18-2014
 BASE FLOOD ELEVATION = 6.0 NAVD
 WATER TABLE ELEVATION (WET SEASON) = (+) 10 NAVD
 FLOOD CRITERIA ELEVATION = N/A

Always call 811 two full business days before you dig

- LEGEND**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - DIRECTION OF FLOW
 - PROPOSED STRUCTURE NUMBER
 - PROPOSED CATCH BASIN
 - PROPOSED DRAINAGE WELL
 - PROPOSED 1" ASPHALT PAVEMENT TYPE SP-35
 - PROPOSED CONCRETE

PAVING, GRADING & DRAINAGE PLAN
 SCALE: 1" = 20'

MADY
 AA0002791
**ARCHITECTS
 PLANNERS
 INTERIORS**
 12124 S.W. 131 AVENUE
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FACSIMILE 305.256.9073

Aviño & ASSOCIATES
 ENGINEERS - PLANNERS - SURVEYORS
 1200 S.W. 87TH AVENUE, SUITE 207
 MIAMI, FLORIDA 33143
 TEL: 305-556-8000
 FAX: 305-556-8000
 WWW.AVIÑO.COM

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Sheet For
SITE PLAN REVIEW

JORGE R. AVIÑO, P.E., P.S.M.
 P.E. Lic. # 22997

Revisions		
No.	Date	Description

Date	11-24-2014
Drawn by	N.V.
Checked by	J.S.A.
Scale	AS SHOWN

COPYRIGHT © ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MADY ARCHITECTS, PLANNERS & INTERIORS. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF MADY ARCHITECTS, PLANNERS & INTERIORS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CONDITIONS PRIOR TO COMMENCING WORK.

Sheet Title
PAVING, GRADING & DRAINAGE PLAN

Sheet
C-1.0

ENGINEER'S CERTIFICATION
 I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 12-328 F.S.

NOTES

1. ALL PROPOSED ELEVATIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
2. FOR ALL DIMENSIONING OF PARKING AREA, ETC., SEE ARCHITECTURAL PLANS.
3. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION WERE TAKEN FROM THE SURVEY PREPARED BY CRAVEN THOMPSON AND ASSOCIATES, INC., LAND SURVEYORS, LAST DATED 9/23/2014.



Project Name
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number

Client/Project Number

Issue For
SITE PLAN REVIEW

JORGE R. AVINO, P.E., P.S.M.
P.E. Lic. # 22207

Revisions		
No.	Date	Description

Date	11.24.2014
Drawn by	N.V.
Checked by	J.R.A.
Scale	AS SHOWN

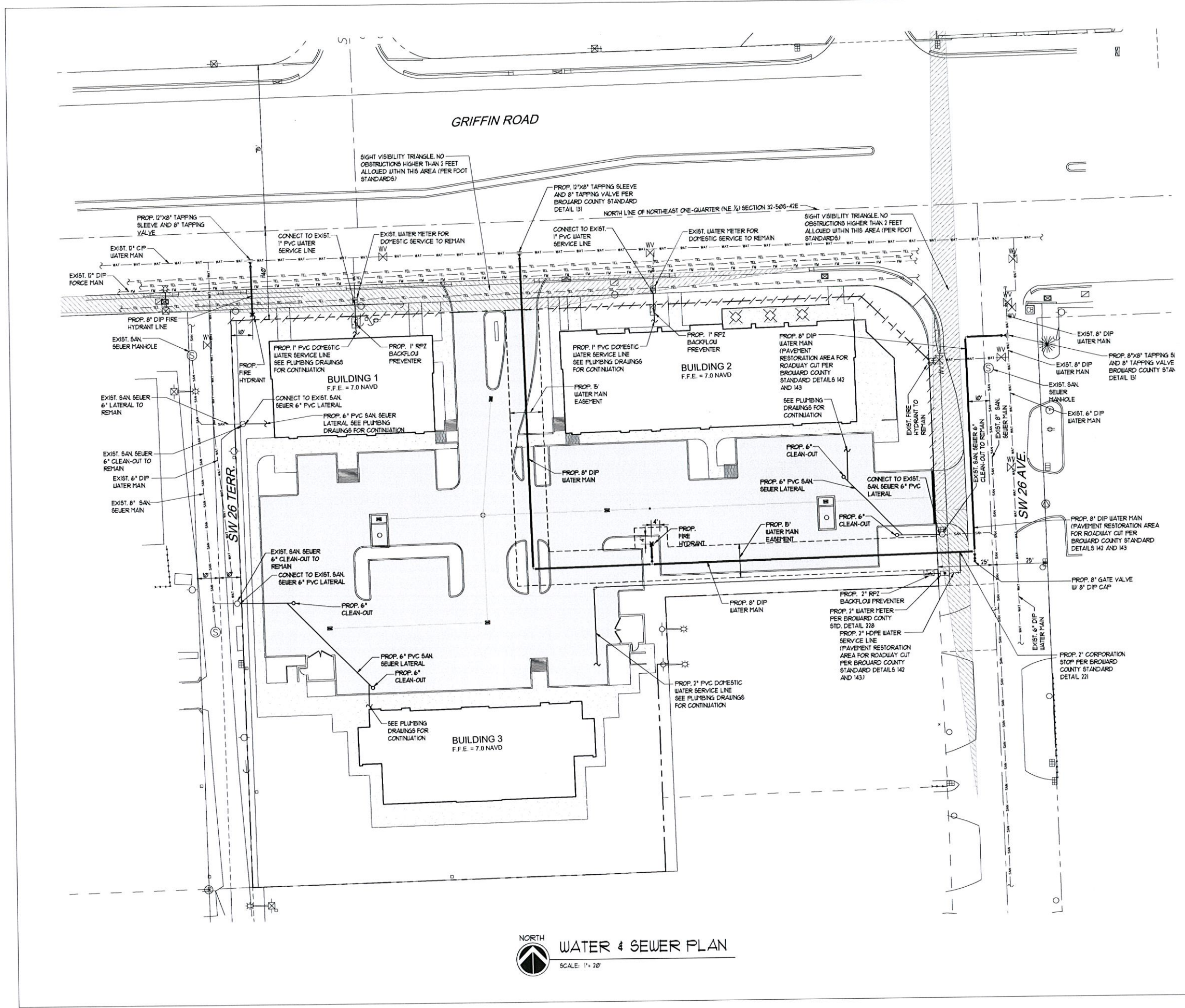
CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DANIA BEACH AND THE STATE OF FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DANIA BEACH AND THE STATE OF FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DANIA BEACH AND THE STATE OF FLORIDA.

Sheet Title
WATER & SEWER PLAN

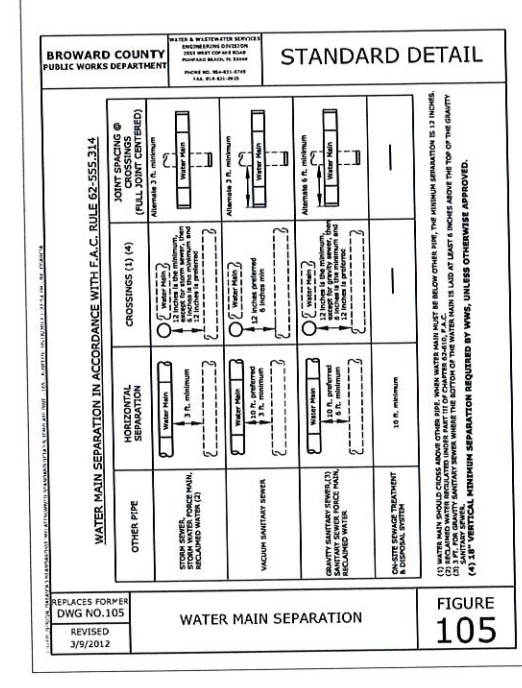
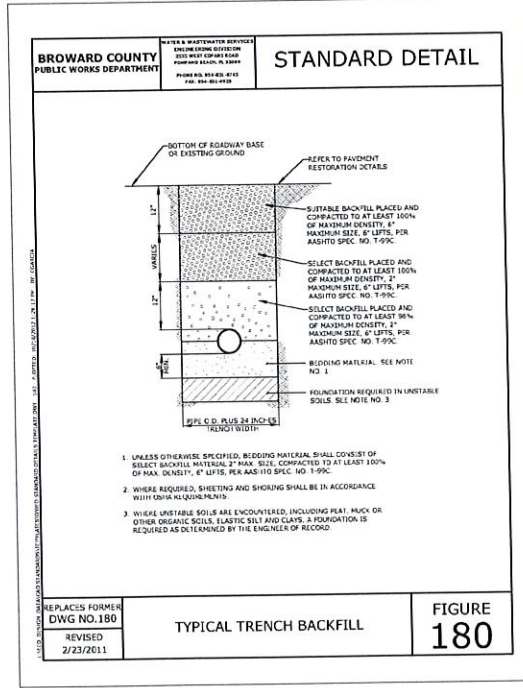
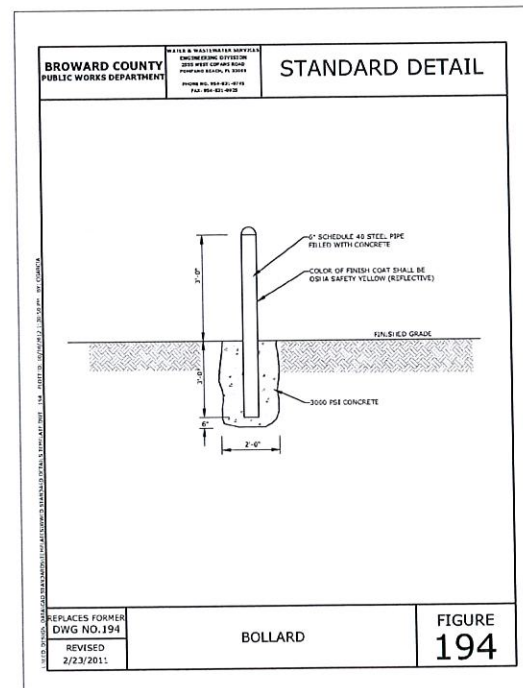
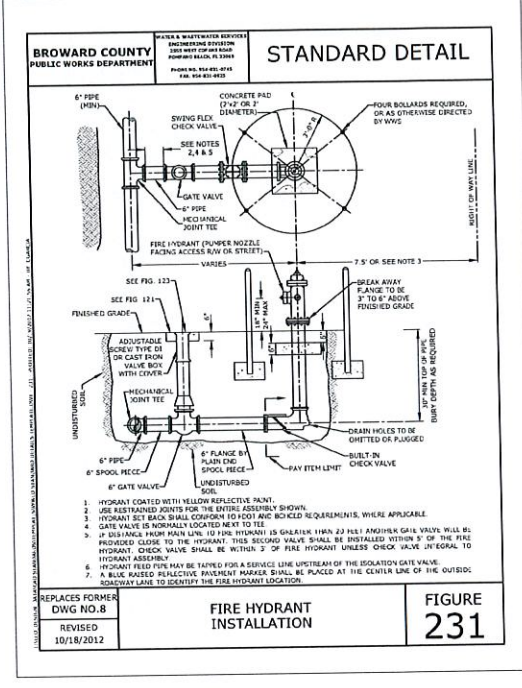
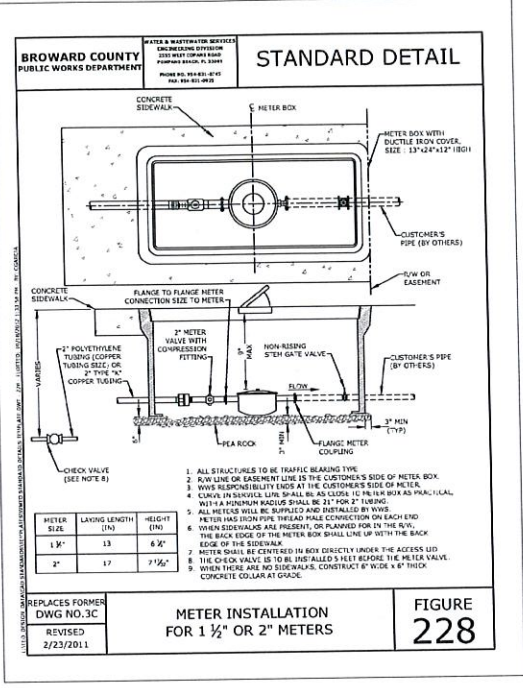
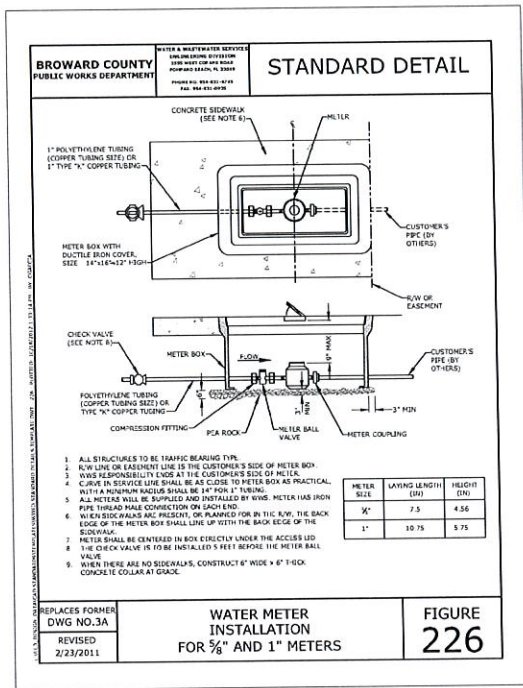
Sheet
C-1.1



ENGINEER'S CERTIFICATION
I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 12-32B F.S.



NORTH
WATER & SEWER PLAN
SCALE: 1" = 20'



WATER & SEWER DETAILS

SCALE: NTS.



AA002791
ARCHITECTS
PLANNERS
INTERIORS

12124 S.W. 131 AVENUE
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FACSIMILE 305.256.9073



ENGINEERS • PLANNERS • ARCHITECTS
 12124 S.W. 131 AVENUE, SUITE 200
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FAX 305.256.9073
 WWW.AVIÑO.COM

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Sheet Project Number

Sheet For
SITE PLAN REVIEW

JORGE R. AVIÑO, P.E., P.S.M.
 P.E. Lic. # 22007

Revisions		
No.	Date	Description

Date: 11.24.2014
 Drawn by: N.V.
 Checked by: J.R.A.
 Scale: AS SHOWN

DEPARTMENT OF TRANSPORTATION, THESE DRAWINGS AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF MADY ASSOCIATES INC. AND SHALL REMAIN THE PROPERTY OF MADY ASSOCIATES INC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF MADY ASSOCIATES INC. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

Sheet
WATER & SEWER DETAILS

Sheet
C-1.1A

ENGINEER'S CERTIFICATION
 I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS, as adopted by the State of Florida Legislature, Chapter 12-328 F.S.



Project Name
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number

Draw Project Number

Sheet For
SITE PLAN REVIEW

JORGE R. AVINO, P.E., P.S.M.
P.E. Lic. # 22097

Revisions

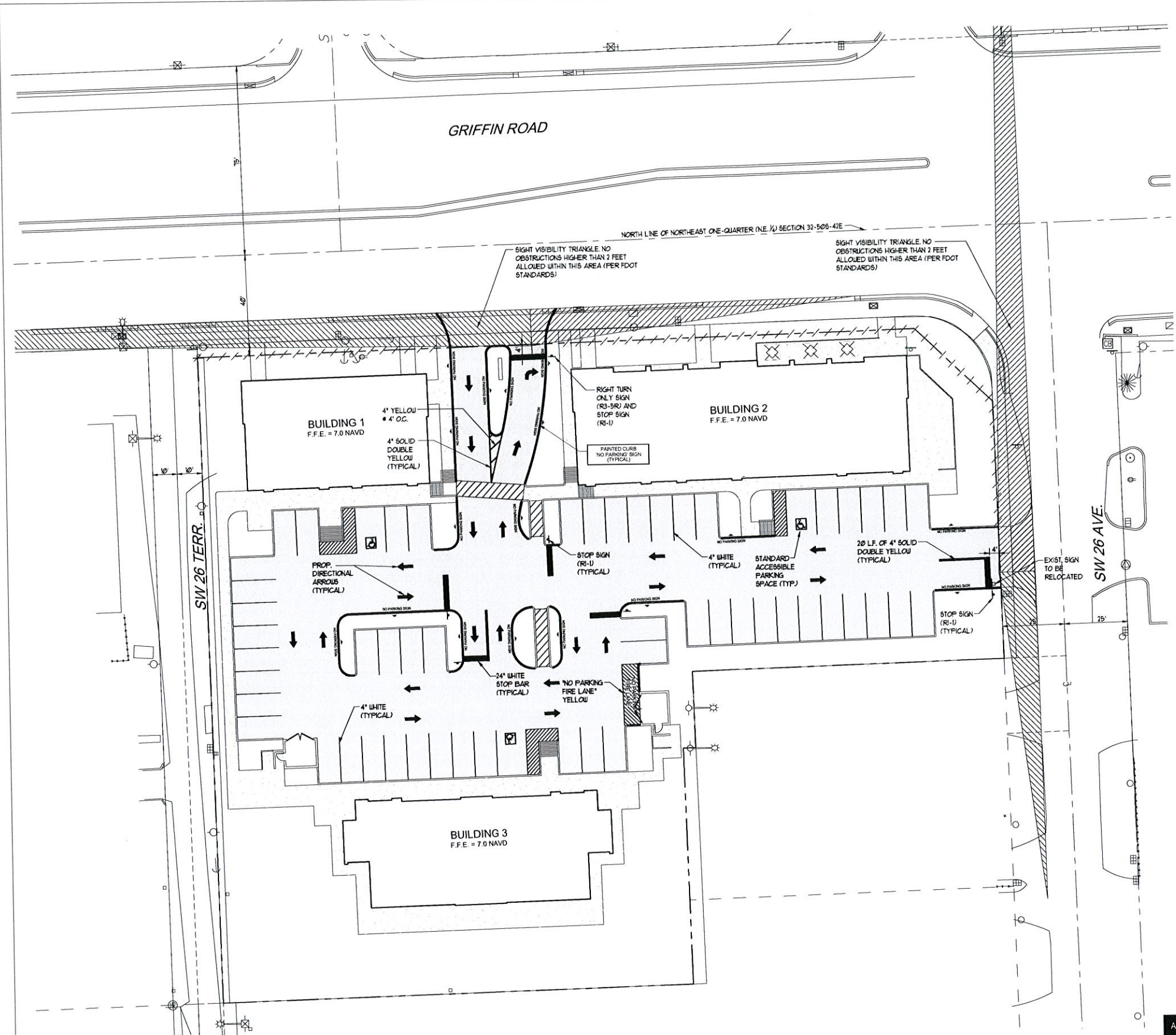
No.	Date	Description

Date	11.24.2014
Drawn by	N.V.
Checked by	J.R.A.
Scale	AS SHOWN

SUNSHINE 811, INC.'S NOTICE: THESE DRAWINGS AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF SUNSHINE 811, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUNSHINE 811, INC. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO SUNSHINE 811, INC. SUNSHINE 811, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE DRAWINGS.

Sheet Title
PAVEMENT MARKING & SIGNING PLAN

Sheet
C-1.2



NOTES

1. ALL PROPOSED CURB RADII ARE 10' TO THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.

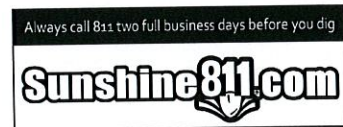
TRAFFIC NOTES & STANDARDS

1. Contractor shall be responsible for the removal of all pavement markings and signs conflicting with the proposed construction.
2. Contractor shall be responsible for the installation of all pavement markings and signs as shown in the plans and applicable traffic design standards.
3. Contractor shall be responsible for matching existing pavement markings at the project.
4. Sign assembly locations shown in the plans which are in conflict with street lighting, utilities, driveways, pedestrian ramps, etc., may be adjusted as directed by the Engineer/Inspector.

GENERAL NOTES

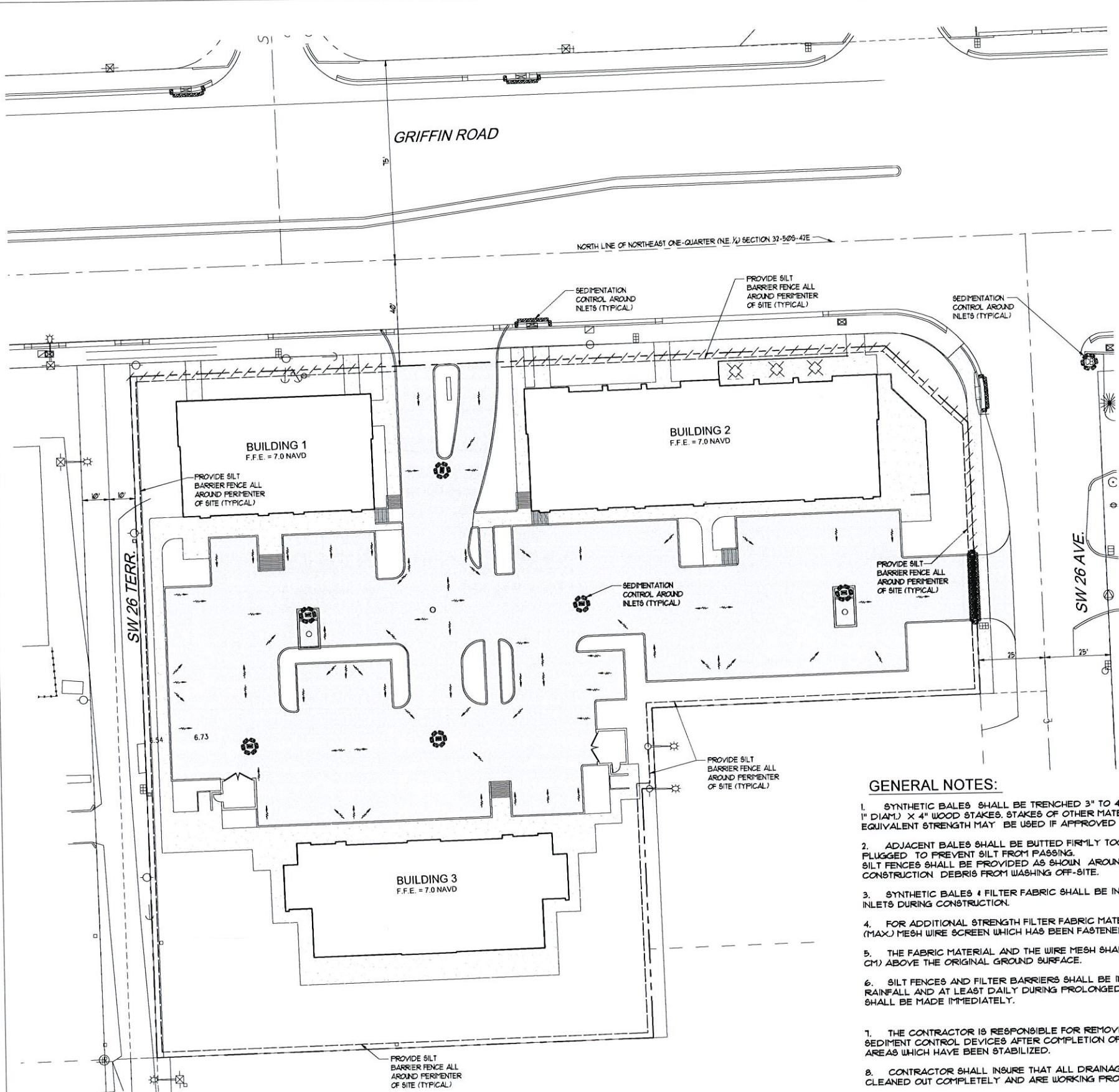
1. "NO PARKING" SIGNAGE, PAINTED CURBS AND FIRE LANE STRIPING TO BE PROVIDED. FOR FIRE LANES, FD ACCESS ROADS AND IN FRONT OF FD CONNECTIONS AS PER PLANS.
2. ALL CURBS ADJACENT TO FD ACCESS ROADS, FIRE LANES AND IN FRONT OF FD CONNECTIONS TO BE PAINTED YELLOW AS PER PLANS.
3. ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT.
4. THESE AREAS SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING.
5. SUCH SIGNS SHALL BE 12 INCHES BY 18 INCHES WITH A WHITE BACKGROUND AND RED LETTERS.
6. THESE SIGNS SHALL BE A MAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO THE BOTTOM OF THE SIGN.
7. THESE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART.
8. FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A SURFACE DESIGNED TO ACCOMMODATE FIRE APPARATUS WITH A MINIMUM WEIGHT OF 32 TONS AND A SURFACE SUITABLE FOR ALL WEATHER DRIVING CAPABILITIES.

PAVEMENT MARKING & SIGNING PLAN
SCALE: 1" = 20'



ENGINEER'S CERTIFICATION

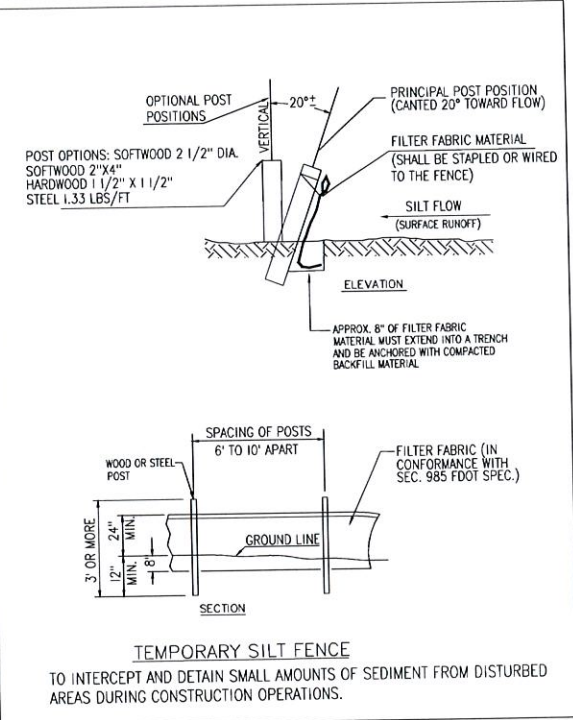
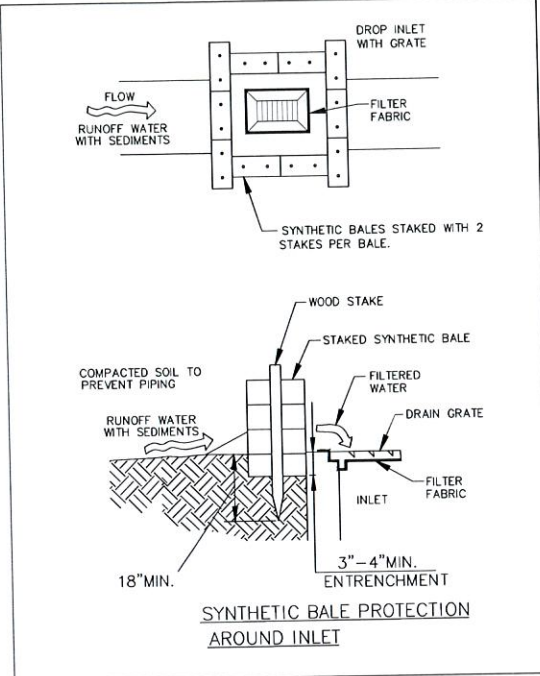
I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS, AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.



STORM WATER POLLUTION PREVENTION PLAN
SCALE: 1" = 20'

GENERAL NOTES:

1. SYNTHETIC BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1" X 2" (OR 1" DIAM) X 4" WOOD STAKES, STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
2. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER UNAVOIDABLE GAPS SHALL BE PLUGGED TO PREVENT SILT FROM PASSING. SILT FENCES SHALL BE PROVIDED AS SHOWN AROUND THE PROPERTY TO PREVENT CONSTRUCTION DEBRIS FROM WASHING OFF-SITE.
3. SYNTHETIC BALES & FILTER FABRIC SHALL BE INSTALLED AT ALL NEW AND EXISTING INLETS DURING CONSTRUCTION.
4. FOR ADDITIONAL STRENGTH FILTER FABRIC MATERIAL CAN BE ATTACHED TO A 6" (MAX) MESH WIRE SCREEN WHICH HAS BEEN FASTENED TO THE POSTS.
5. THE FABRIC MATERIAL AND THE WIRE MESH SHALL NOT EXTEND MORE THAN 36" (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY IN THE AREAS WHICH HAVE BEEN STABILIZED.
8. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT COMPLETELY AND ARE WORKING PROPERLY AT THE TIME OF ACCEPTANCE.
9. FILTER FABRIC SHALL BE LAID OUT UNDER THE GRATE OF EACH INLET, EXTENDING A MINIMUM OF ONE (1) FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED A MINIMUM OF ONE (1) FOOT.
10. IF THE INLET FILTER BECOMES CLOGGED WITH SEDIMENT, SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE FILTER MUST BE REMOVED AND REPLACED.



TURBIDITY AND EROSION CONTROL DETAILS
N.T.S.

MADY ASSOCIATES, INC.
AA0002791
**ARCHITECTS
PLANNERS
INTERIORS**
12124 S.W. 131 AVENUE
MIAMI, FLORIDA 33186
PHONE 305.256.9071
FACSIMILE 305.256.9073

Aviño & ASSOCIATES
ENGINEERS + PLANNERS + SURVEYORS
10000 SW 15TH AVENUE, SUITE 200
MIAMI, FLORIDA 33156
PHONE 305.556.8000
FAX 305.556.8000
WWW.AVIÑO.COM

KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number: ---
Owner/Project Number: ---
Sheet: **SITE PLAN REVIEW**

JORGE R. AVIÑO, P.E., P.S.M.
P.E. Lic. # 22207

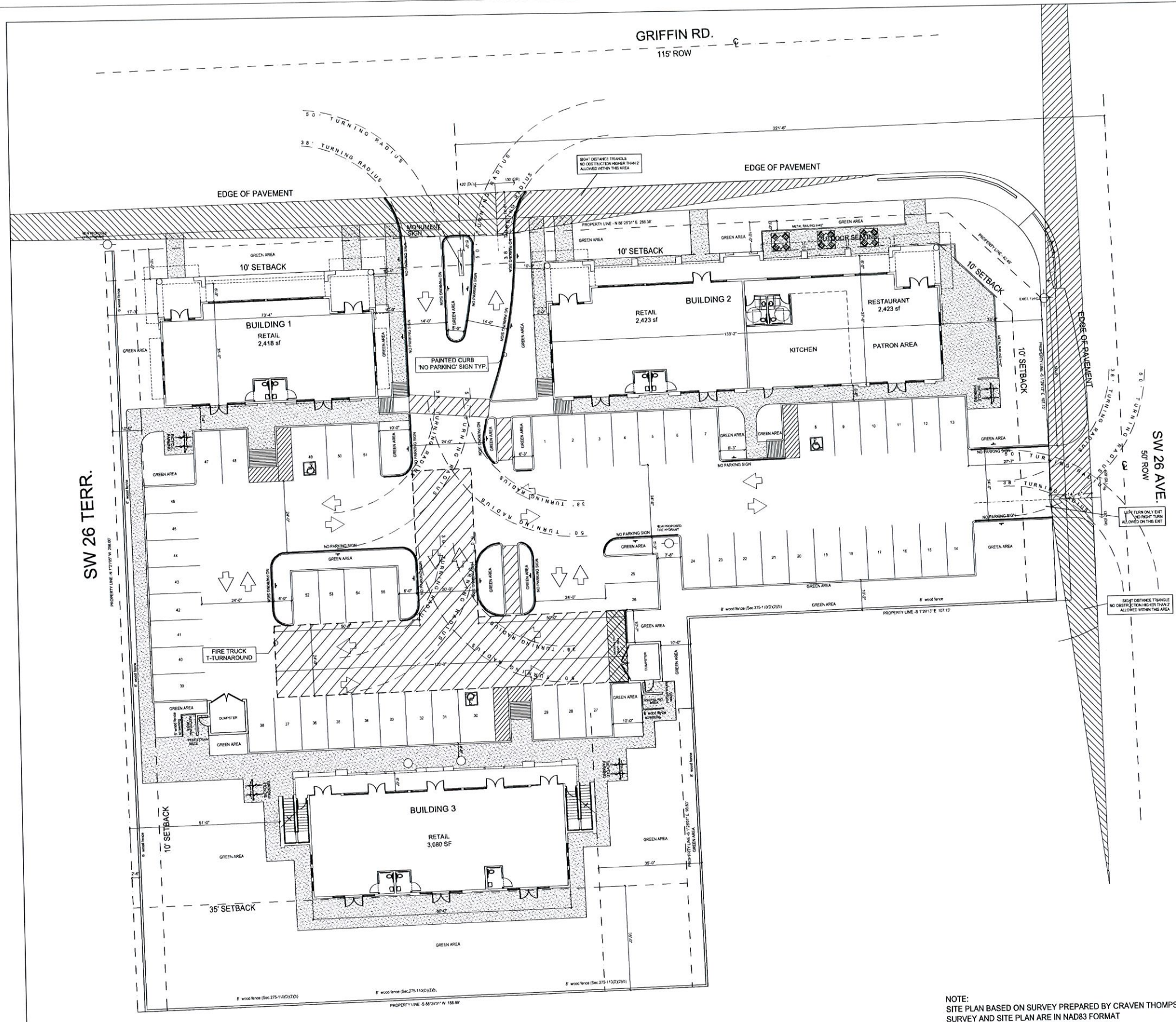
Revisions		
No.	Date	Description

Date: 11.24.2014
Drawn by: N.V.
Checked by: J.R.A.
Scale: AS SHOWN

COPYRIGHT © 2014 BY AVIÑO & ASSOCIATES, INC. ALL RIGHTS RESERVED. THESE DOCUMENTS ARE THE PROPERTY OF AVIÑO & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF AVIÑO & ASSOCIATES, INC. IF YOU ARE A CLIENT OF AVIÑO & ASSOCIATES, INC. YOU MAY NOT REPRODUCE, TRANSMIT, OR DISSEMINATE THESE DOCUMENTS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF AVIÑO & ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR DISSEMINATION OF THESE DOCUMENTS IS STRICTLY PROHIBITED. AVIÑO & ASSOCIATES, INC. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECTS SHOWN HEREON.

Sheet Title: **STORMWATER POLLUTION PREVENTION PLAN**

Sheet: **C-1.3**



LEGAL DESCRIPTION:
 A REPLAT OF A PORTION OF TRACT 9, BLOCK 1, PLAT OF SEC'S 28, 29, 31 AND 32 T.
 SO S. R. 42 E.
 PLAT BOOK 2, PAGE 32, DADE COUNTY RECORDS; SECTION 32, TOWNSHIP 50 SOUTH,
 RANGE 42 EAST;
 DANIA BEACH, BROWARD COUNTY, FLORIDA
 SEPTEMBER, 2013

ZONING INFORMATION

City: Dania Beach
 Property tax file no.:
 Project name: Koosh Retail Center
 Project address: SW Corner of Griffin Road & SW 26 Ave., Dania Beach, FL
 Property owner:
 Zoning District: C-2 (COMMERCIAL)
 Proposed Use: RETAIL / COMMERCIAL / RESTAURANT / OFFICE
 Applicable codes: Florida Building Code, Florida Fire Prevention Code, NFPA 101, City of Dania Beach Zoning Code

TRACT 'A' AREA s.f.: 65,515.00 sq. ft. - 1.50 ACRES

CONSTRUCTION TYPE: TYPE II-B
 SPRINKLER SYSTEM NOT REQUIRED AS PER NFPA 101 - 12.3.5.2, 36.3.5.1, 38.3.5 & FBC 903
 MINIMUM REQUIRED FLOW AND FLOW DURATION AS PER NFPA 1 - TABLE 18.4.5.2.1: 1,500 gpm - FLOW DURATION: 2 HOURS

NOTE: PARCEL DESIGNATIONS ARE AS PER PLAT

SETBACK REQUIREMENTS	Abutting any street or public thoroughfare (10')		Intersect side or rear yard when abutting a property w/ a residential land use plan designation. (1 X Bldg. Height)	
	Required	Provided	Required	Provided
RETAIL BUILDINGS				
Griffin Rd. (North)	10'-0"	10'-0"		
SW 26 AVE.	10'-0"	33'-8"		
SW 26 TERR.	10'-0"	17'-3"		
Interior (office building)			35'-0"	35'-0"

BUILDING AREAS	SQ.FT.	LOT COVERAGE - ALLOWED 70%	
		Required	Provided
BUILDING 1	2,418.00 SF	3,186.70 SF	
BUILDING 2	4,846.00 SF	6,066.30 SF	
BUILDING 3 (2 STORES)	6,160.00 SF	4,109.00 SF	
TOTAL BUILDING AREAS	13,424.00 SF	13,362.00 SF (99.55%)	20.42%

COMPUTATIONS

VEHICULAR USE AREAS	SQ.FT.	PERCENT
LOT COVERAGE	23,892.00 SF	36.80%
COMMON OPEN SPACE	13,362.00 SF	20.40%
TOTAL	28,254.00 SF	42.80%

PERVIOUS AND IMPERVIOUS AREAS

A. Max. Impervious land area requirements: 75% AS PER SEC.205.10 (c)

Category	SQ.FT.	PERCENT
Impervious land area provided	45,409.00 SF	69.30%
Pervious land area provided	20,106.00 SF	30.70%

PARKING REQUIREMENTS (as per Parking Reduction table shown below)

Proposed Use	Requirement	spaces provided	
		Required	Provided
RETAIL	7,921.00 SF as per table below	19	
RESTAURANT (CSA)	1,000 SF as per table below	18	
RESTAURANT (outdoor seating)	360 SF as per table below	7	
OFFICE	3,080.00 SF as per table below	11	
TOTAL		55	54

HANDICAPPED PARKING

Requirement	spaces required	spaces provided
Handicapped	3	3

Table 1 - Parking Reduction, Koosh Retail Center, Dania Beach

Mixed use development and application of shared parking schedule (Dania Beach Ord. Sec. 265-50)

USE	AREA	PARKING REQUIREMENT (Sec. 265.50)	REQUIRED PARKING (Sec. 265.50)	WEEKDAY NIGHT REDUCTION (10:00 PM TO 5:00 AM)	WEEKDAY DAYTIME REDUCTION (5:00 AM TO 10:00 PM)	WEEKEND DAYTIME REDUCTION (10:00 AM TO 5:00 PM)	WEEKEND EVENING REDUCTION (5:00 PM TO 10:00 PM)	TOTAL	PERCENT	SPACES
Commercial Retail (Retail & Shopping Center with 40,000 sq. ft. or more)	7,921.00 sf	1:300 sf	27	5%	2	7%	13	7%	19	70%
Restaurant (CSA)	1,000.00 sf	1:400 sf CSA	25	10%	3	10%	20	7%	12	100%
Office (2nd floor building)	3,080.00 sf	1:1,000 sf	31	10%	1	10%	8	7%	11	5%
TOTAL			83							
TOTAL			55							

- GENERAL NOTES**
- "NO PARKING" SIGNAGE, PAINTED CURBS AND FIRE LANE STRIPING TO BE PROVIDED FOR FIRE LANES, FD ACCESS ROADS AND IN FRONT OF FD CONNECTIONS AS PER PLANS
 - ALL CURBS ADJACENT TO FD ACCESS ROADS, FIRE LANES AND IN FRONT OF FD CONNECTIONS TO BE PAINTED YELLOW AS PER PLANS
 - ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT
 - THESE AREAS SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING
 - SUCH SIGNS SHALL BE 12 INCHES BY 18 INCHES WITH A WHITE BACKGROUND AND RED LETTERS
 - THESE SIGNS SHALL BE A MAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO THE BOTTOM OF THE SIGN
 - THESE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART
 - FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A SURFACE DESIGNED TO ACCOMMODATE FIRE APPARATUS WITH A MINIMUM WEIGHT OF 32 TONS AND A SURFACE SUITABLE FOR ALL WEATHER DRIVING CAPABILITIES
 - ALL EXISTING OVERHEAD POWER LINES TO BE BURIED

NOTE:
 SITE PLAN BASED ON SURVEY PREPARED BY CRAVEN THOMPSON
 SURVEY AND SITE PLAN ARE IN NAD83 FORMAT

MAD & ASSOCIATES, INC.
 AA0002791
**ARCHITECTS
 PLANNERS
 INTERIORS**
 12124 S.W. 131 AVENUE
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FACSIMILE 305.256.9073

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

 Owner/Project Number

Project File
SITE PLAN REVIEW

MARTIN A.D. YABOR, FAIA
 L.S. # A192615330

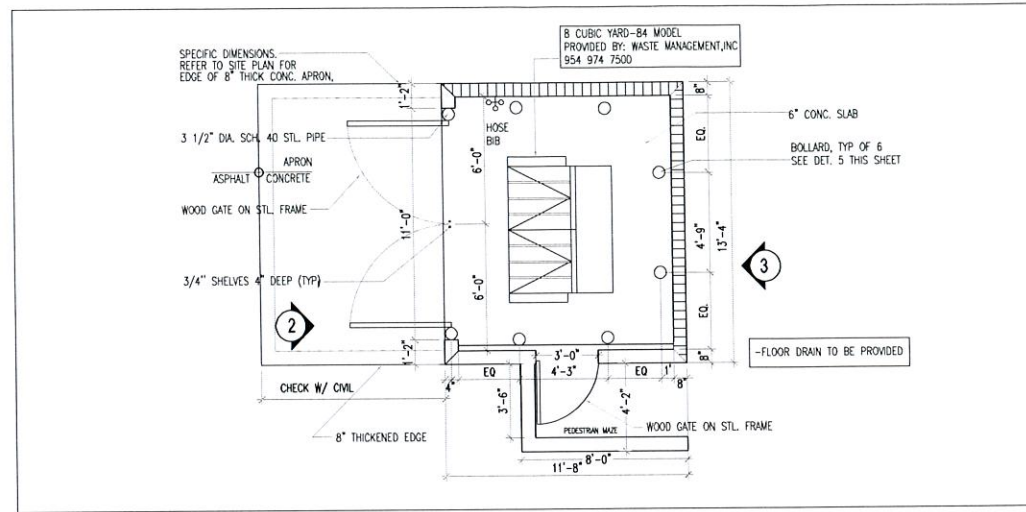
Revisions

No.	Date	Description

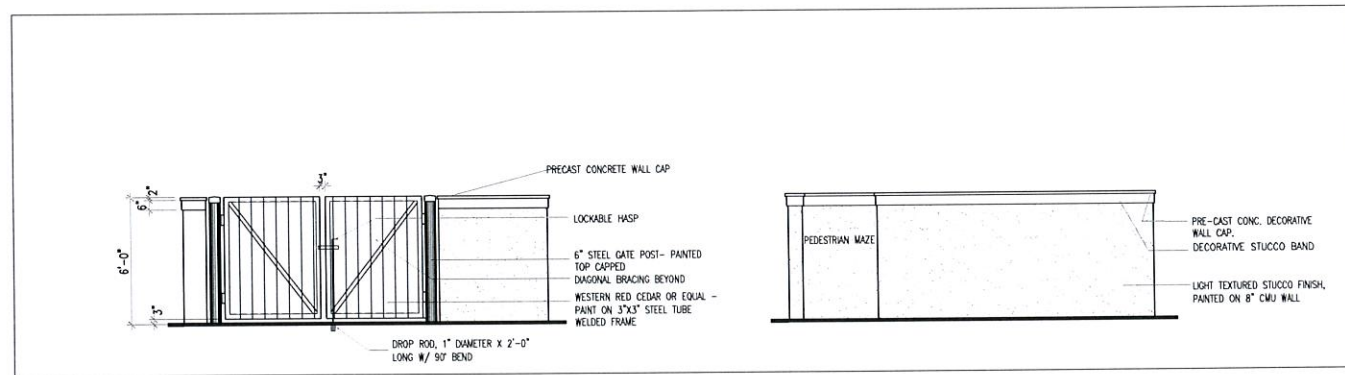
Date: 02.02.2015
 Drawn By: G.S.
 Checked By: M.S.Y.
 Scale: AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PROPERTY OWNER AND ALL NECESSARY APPROVALS FROM THE CITY OF DANIA BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PROPERTY OWNER AND ALL NECESSARY APPROVALS FROM THE CITY OF DANIA BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PROPERTY OWNER AND ALL NECESSARY APPROVALS FROM THE CITY OF DANIA BEACH.

Sheet Title
SITE PLAN
 Sheet
A1.00

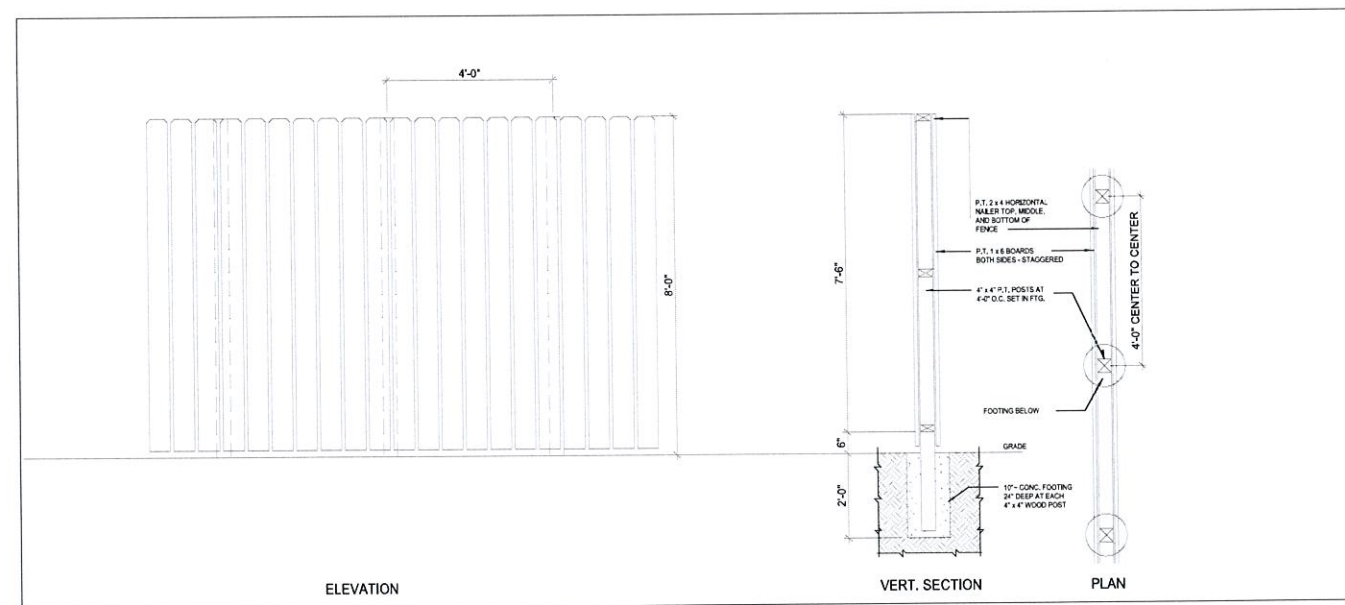


1 DUMPSTER - FLOOR PLAN 1/4" = 1'-0"

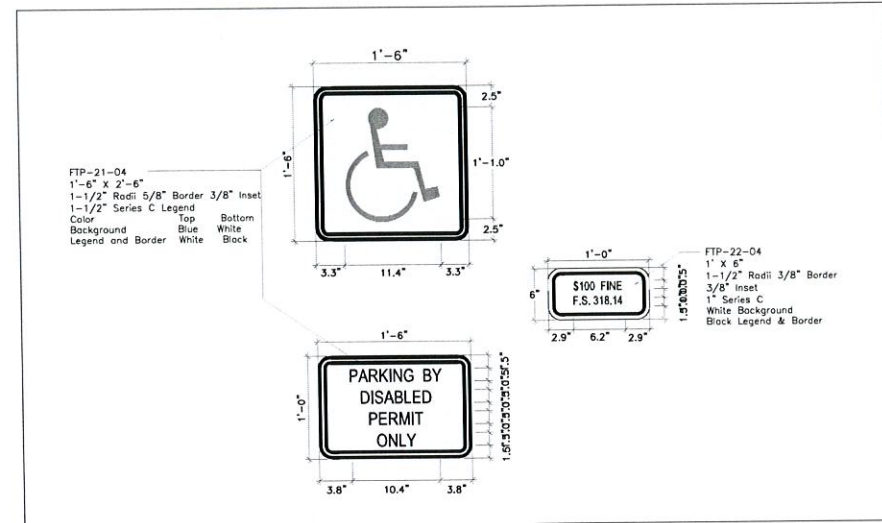


2 DUMPSTER - ELEVATION 1/4" = 1'-0"

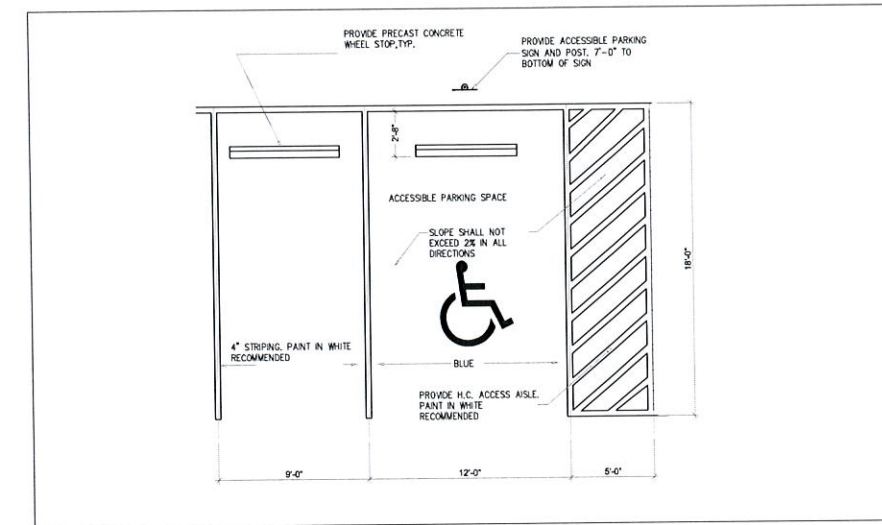
3 DUMPSTER - ELEVATION 1/4" = 1'-0"



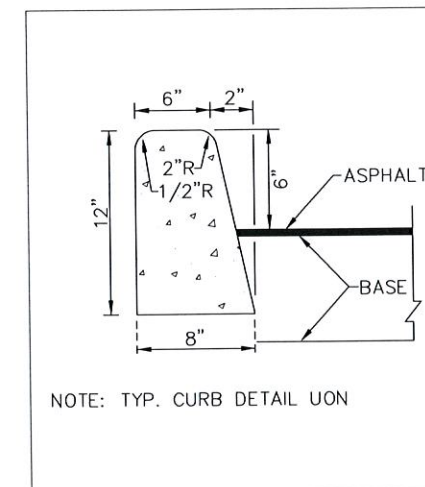
4 WOOD FENCE - DETAIL - TYP. 1/2" = 1'-0"



5 PARKING SIGN DETAIL NTS



6 PARKING STRIPING DETAIL NTS



7 TYP. CURB DETAIL NTS

MADY
 & ASSOCIATES, INC.
 AA0002791
 ARCHITECTS
 PLANNERS
 INTERIORS
 12124 S.W. 131 AVENUE
 MIAMI, FLORIDA 33186
 PHONE 305.256.9071
 FACSIMILE 305.256.9073

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Owner Project Number

Revised For
SITE PLAN REVIEW

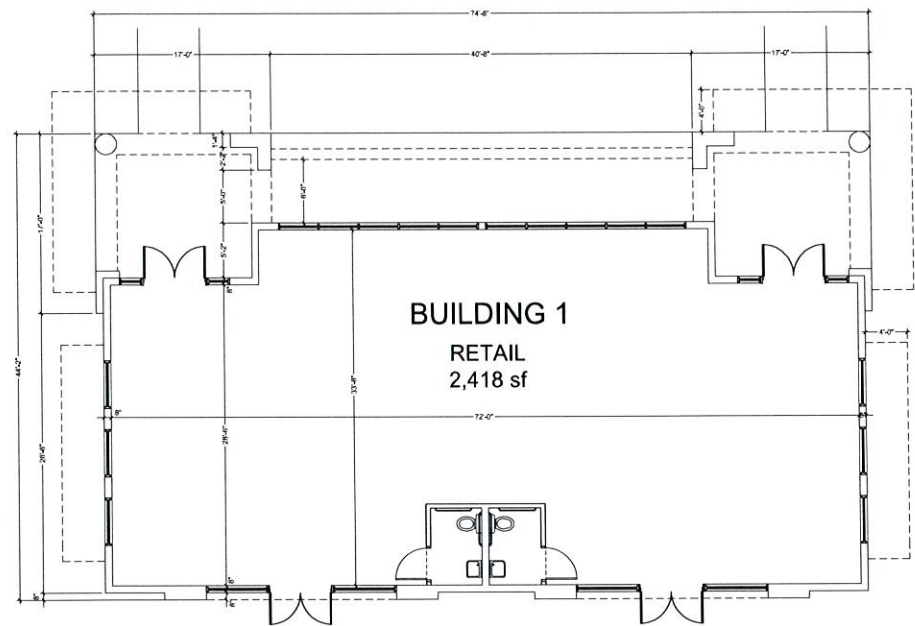
Drawn By
 MARTIN A.D. YABOR, F.A.S.
 L.C. # AR0015332

Revisions		
No.	Date	Description

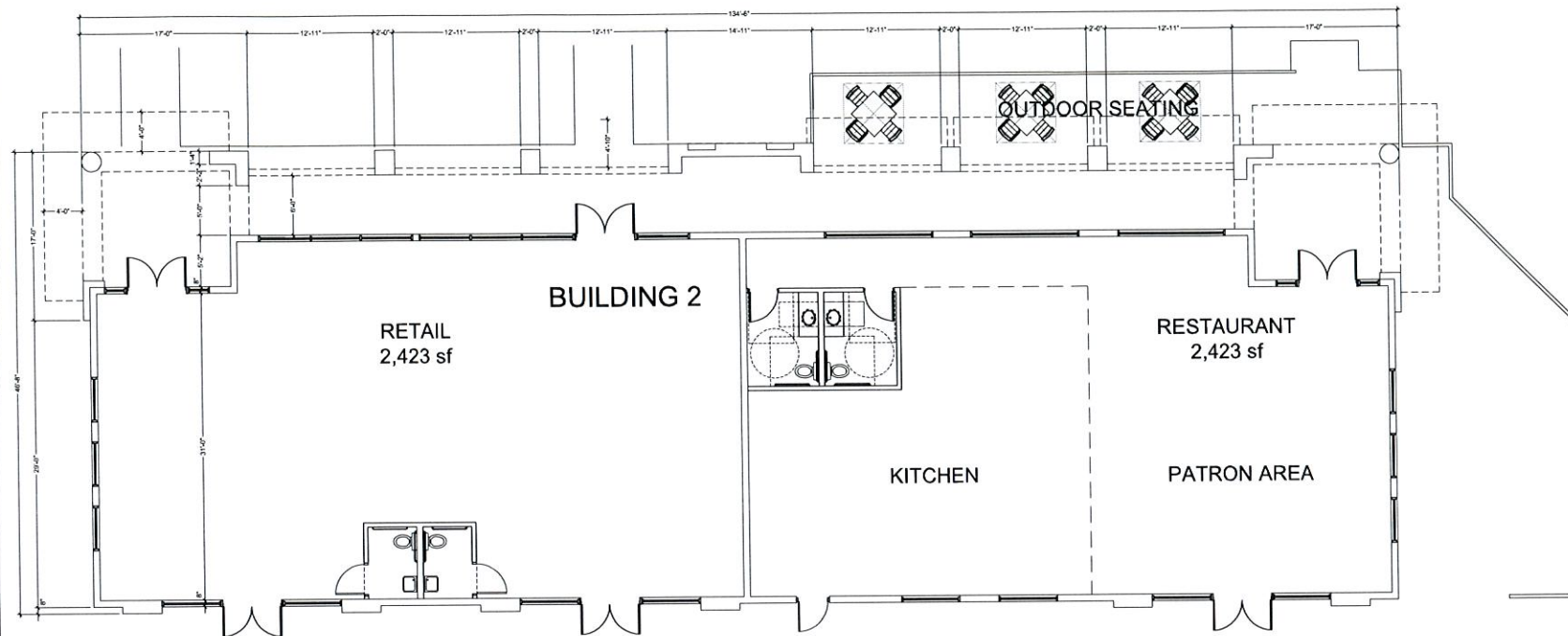
Date: 02.02.2015
 Drawn By: G.S.
 Checked By: M.D.Y.
 Scale: AS SHOWN

COMMENTS: ALL NOTES MUST BE READ. THESE DRAWINGS ARE THE PROPERTY OF MADY & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF MADY & ASSOCIATES, INC. IF YOU ARE A SUBCONTRACTOR, YOU AGREE TO HOLD MADY & ASSOCIATES, INC. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST MADY & ASSOCIATES, INC. BY ANY PARTY AS A RESULT OF YOUR NEGLIGENCE OR WILLFUL MISFEASANCE IN THE PERFORMANCE OF YOUR OBLIGATIONS UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO PROCEEDING WITH WORK.

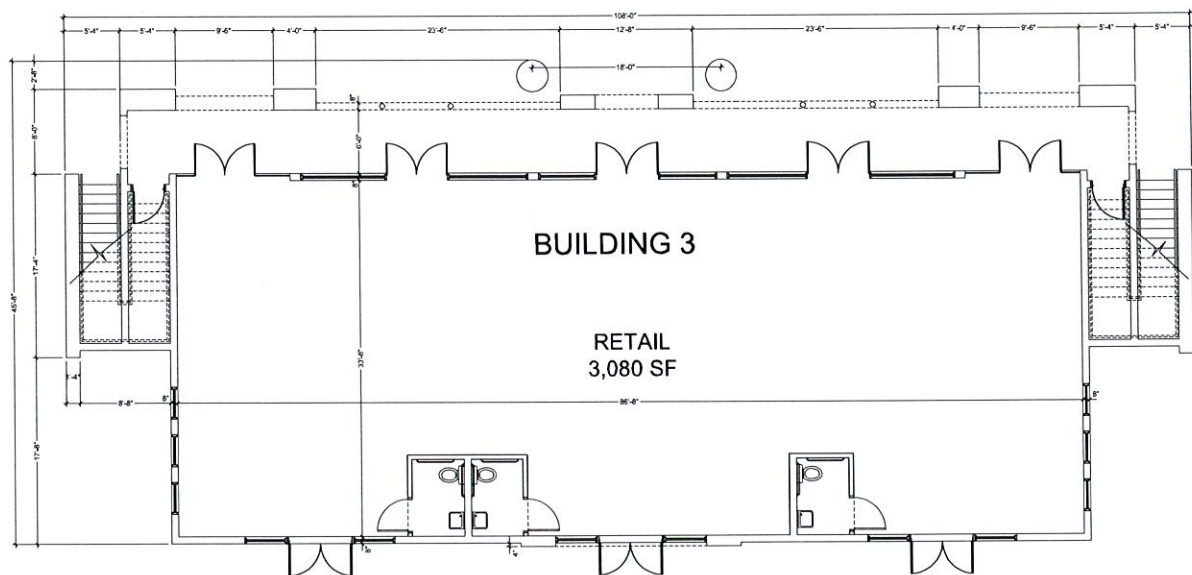
Sheet No.
DUMPSTER-PARKING & SIGN DETAILS
 Sheet
A1.10



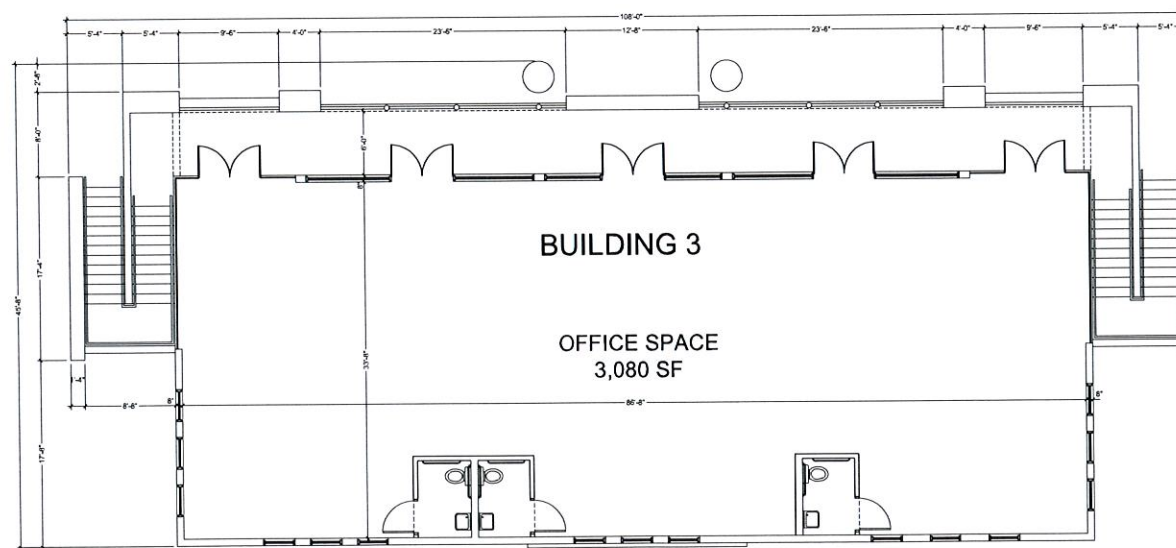
1
A2.00 **BUILDING 1 - FLOORPLAN** 1/8" = 1'-0"



2
A2.00 **BUILDING 2 - FLOORPLAN** 1/8" = 1'-0"



3
A2.00 **BUILDING 3 - GROUND FLOOR** 1/8" = 1'-0"



4
A2.00 **BUILDING 3 - SECOND FLOOR** 1/8" = 1'-0"

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Owner Project Number

Scale For
SITE PLAN REVIEW

MARTIN A.D. YABOR, FAIA
 Lic. # AR0015332

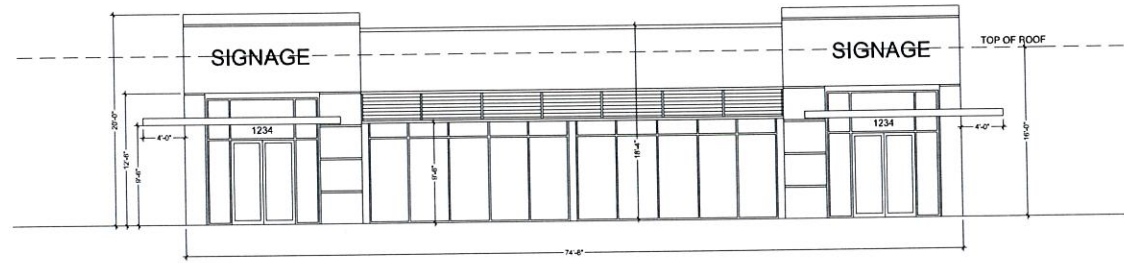
Revisions		
No.	Date	Description

Date: 02/02/2015
 Drawn By: G.S.
 Checked By: M.D.V.
 Title: AS SHOWN

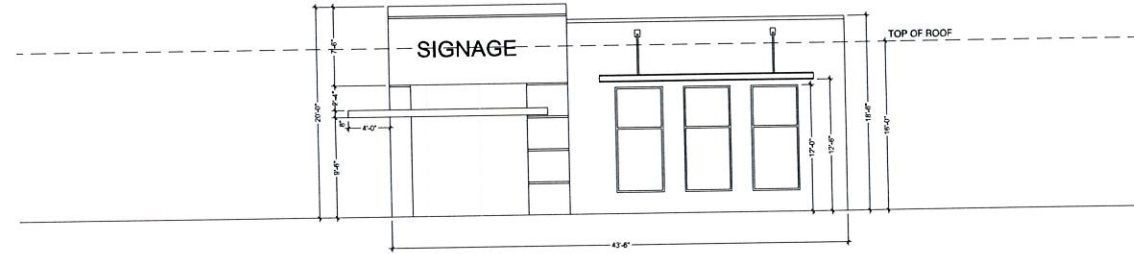
COPYRIGHT © 2015 BY M.D.V. ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MADY & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF MADY & ASSOCIATES, INC. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF MADY & ASSOCIATES, INC. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL OF THE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

Sheet Title
BUILDING 1 - 2 & 3 FLOORPLAN

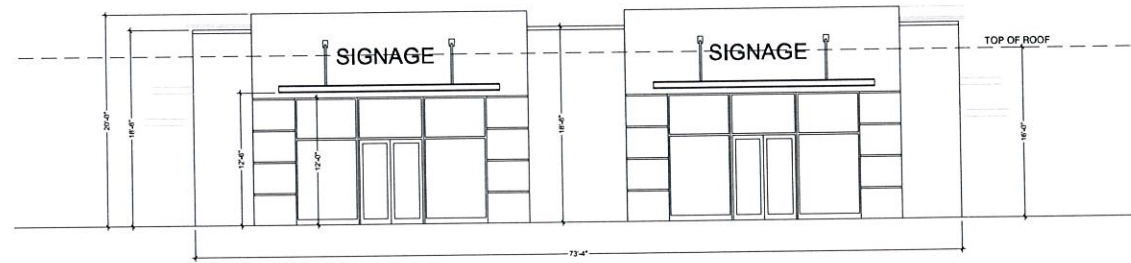
Sheet
A2.00



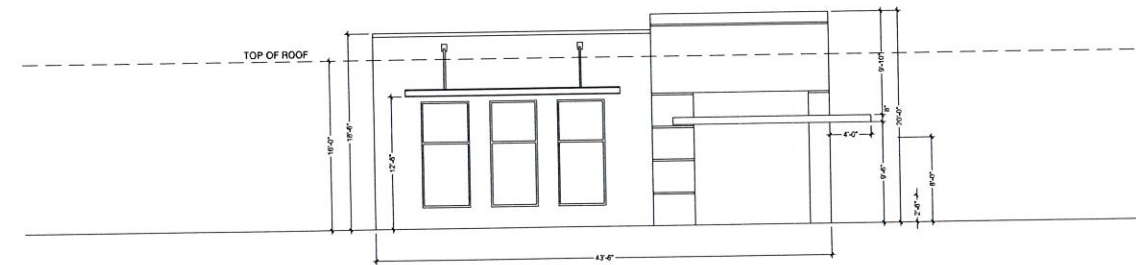
1
 A3.00 NORTH ELEVATION 1/8" = 1'-0"



2
 A3.00 WEST ELEVATION 1/8" = 1'-0"



3
 A3.00 SOUTH ELEVATION 1/8" = 1'-0"



4
 A3.00 EAST ELEVATION 1/8" = 1'-0"

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Drawn Project Number

Subject For
SITE PLAN REVIEW

MARTIN A.D. YABOR, F.A.S.A.
 Lic. # AR0015332

Revisions

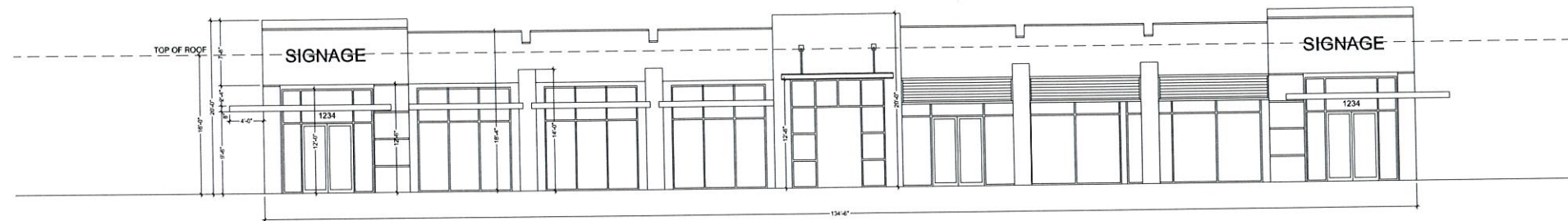
No.	Date	Description

Date: 02.02.2015
 Drawn By: G.S.
 Checked By: M.T.Y.
 Scale: AS SHOWN

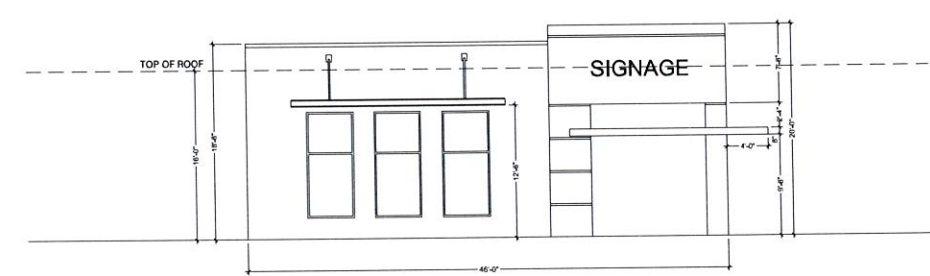
Copyright © 2015 by Mady & Associates, Inc. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Mady & Associates, Inc. This drawing is the property of Mady & Associates, Inc. and is not to be used in any manner other than that specifically intended by Mady & Associates, Inc. The contractor is responsible for verifying all conditions shown on this drawing with the actual site conditions before construction begins.

Sheet Title
BUILDING 1 ELEVATIONS

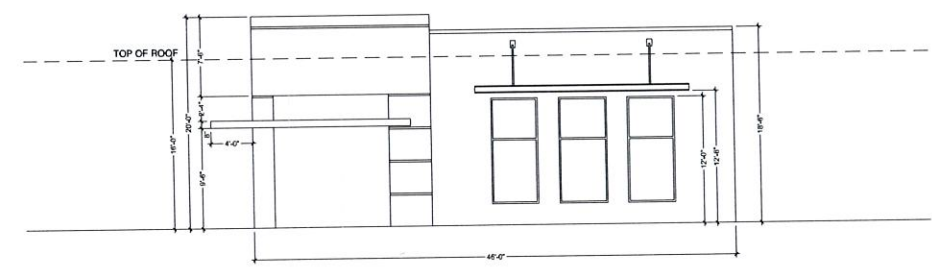
Sheet
A3.00



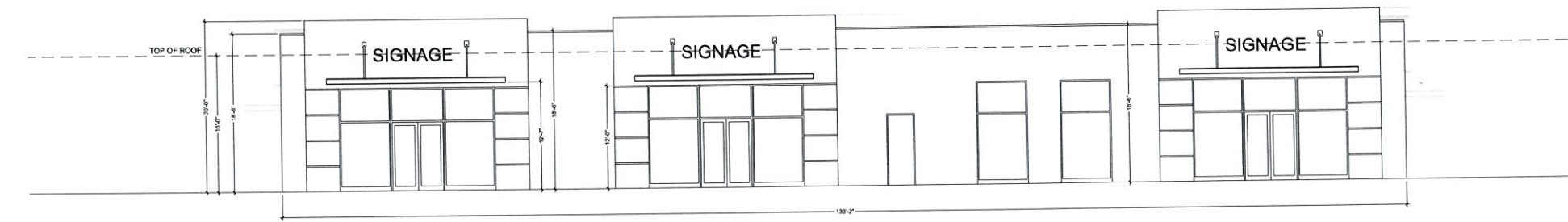
1
 A3.01 NORTH ELEVATION
 1/8" = 1'-0"



2
 A3.01 EAST ELEVATION
 1/8" = 1'-0"



3
 A3.01 WEST ELEVATION
 1/8" = 1'-0"



4
 A3.01 SOUTH ELEVATION
 1/8" = 1'-0"

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Owner/Project Number

Scale For
SITE PLAN REVIEW

MARTIN A.D. YABOR, FAIA
 Lic. # AR0015332

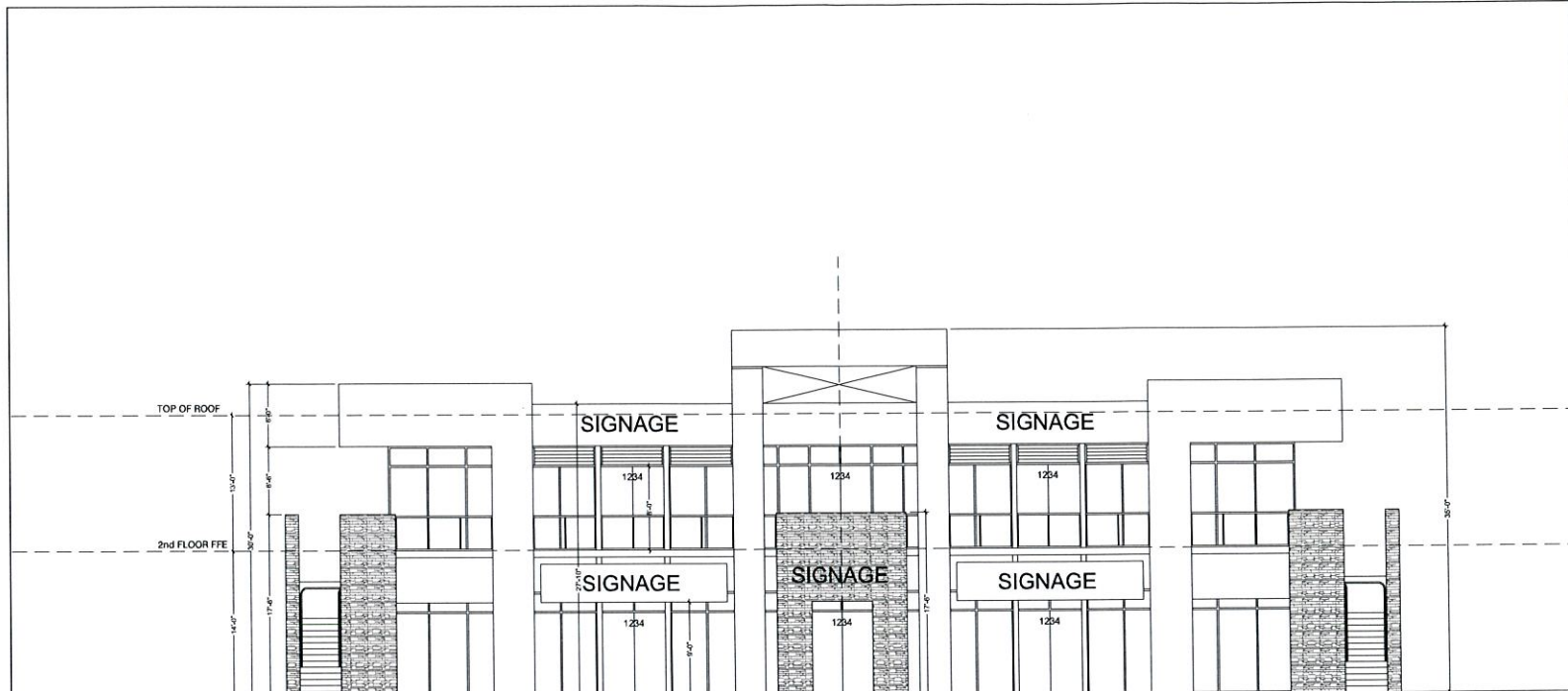
Revisions		
No.	Date	Description

Date
 08.02.2015
 Drawn by
 D.S.
 Checked by
 M.D.Y.
 Scale
 AS SHOWN

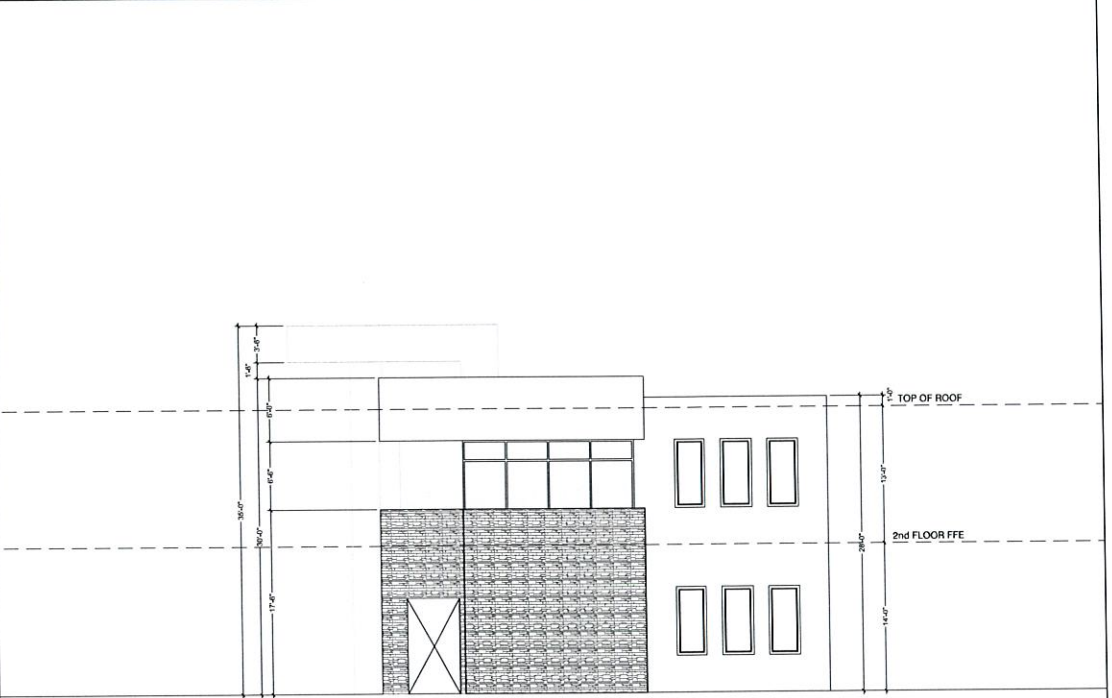
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES RESULTING FROM ANY CHANGES OR OMISSIONS MADE BY THE CONTRACTOR OR ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL CONDITIONS AND REGULATIONS THAT MAY APPLY TO THE PROJECT.

Sheet Title
BUILDING 2 ELEVATIONS

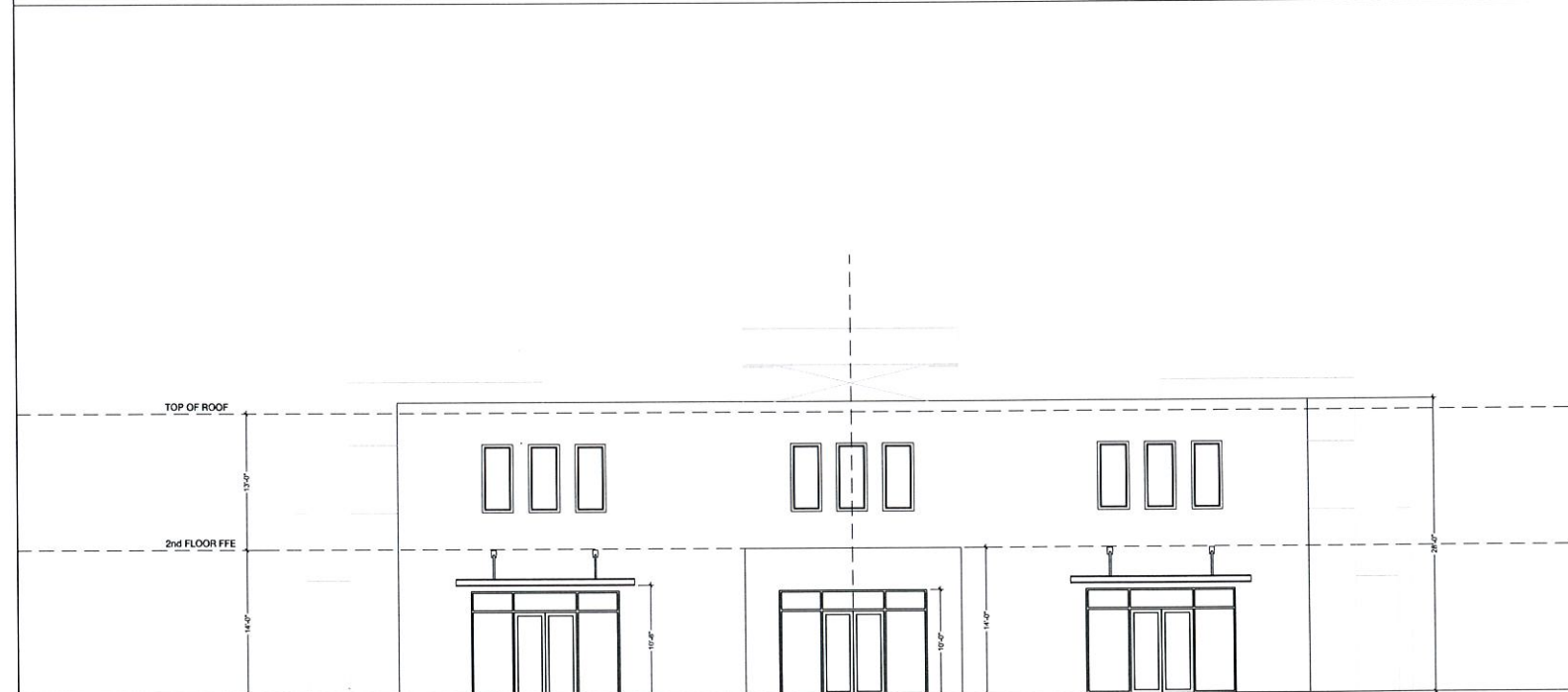
Sheet
A3.01



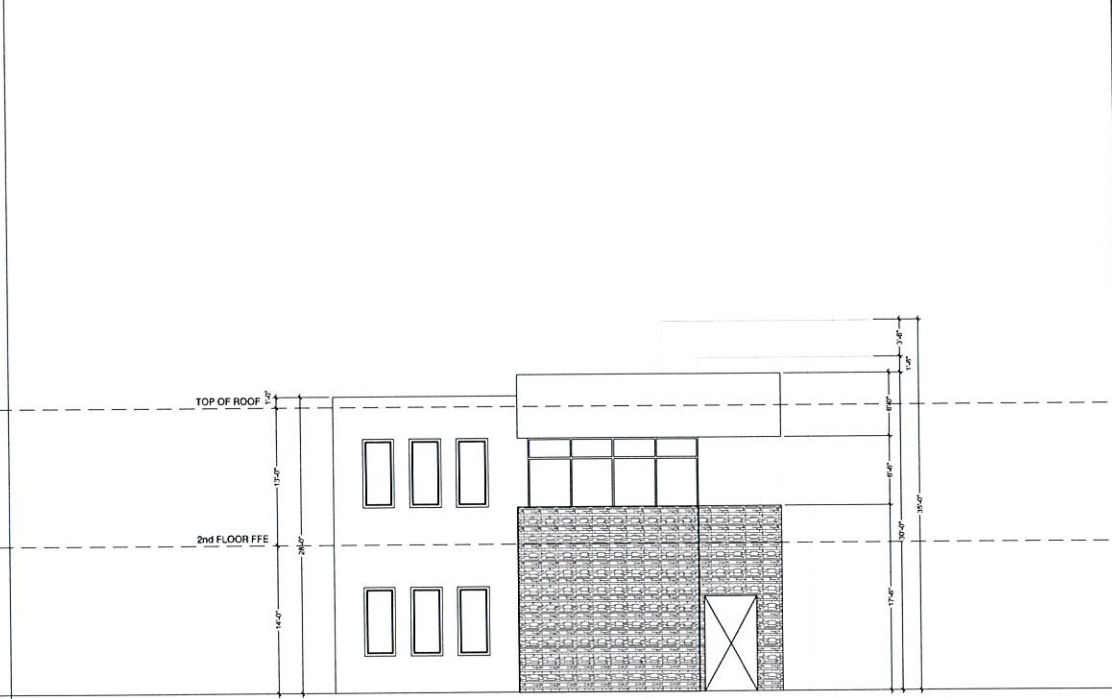
1
 A3.02 FRONT ELEVATION 1/8" = 1'-0"



2
 A3.02 SIDE ELEVATION 1/8" = 1'-0"



3
 A3.02 REAR ELEVATION 1/8" = 1'-0"



4
 A3.02 SIDE ELEVATION 1/8" = 1'-0"

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Owner/Project Number

Scale For
SITE PLAN REVIEW

MARTIN A.D. YAVOR, FAIA
 Lic. # AR0015332

Revisions

No.	Date	Description

Date: 02/02/2015
 Drawn by: G.S.
 Checked by: M.D.Y.
 Scale: AS SHOWN

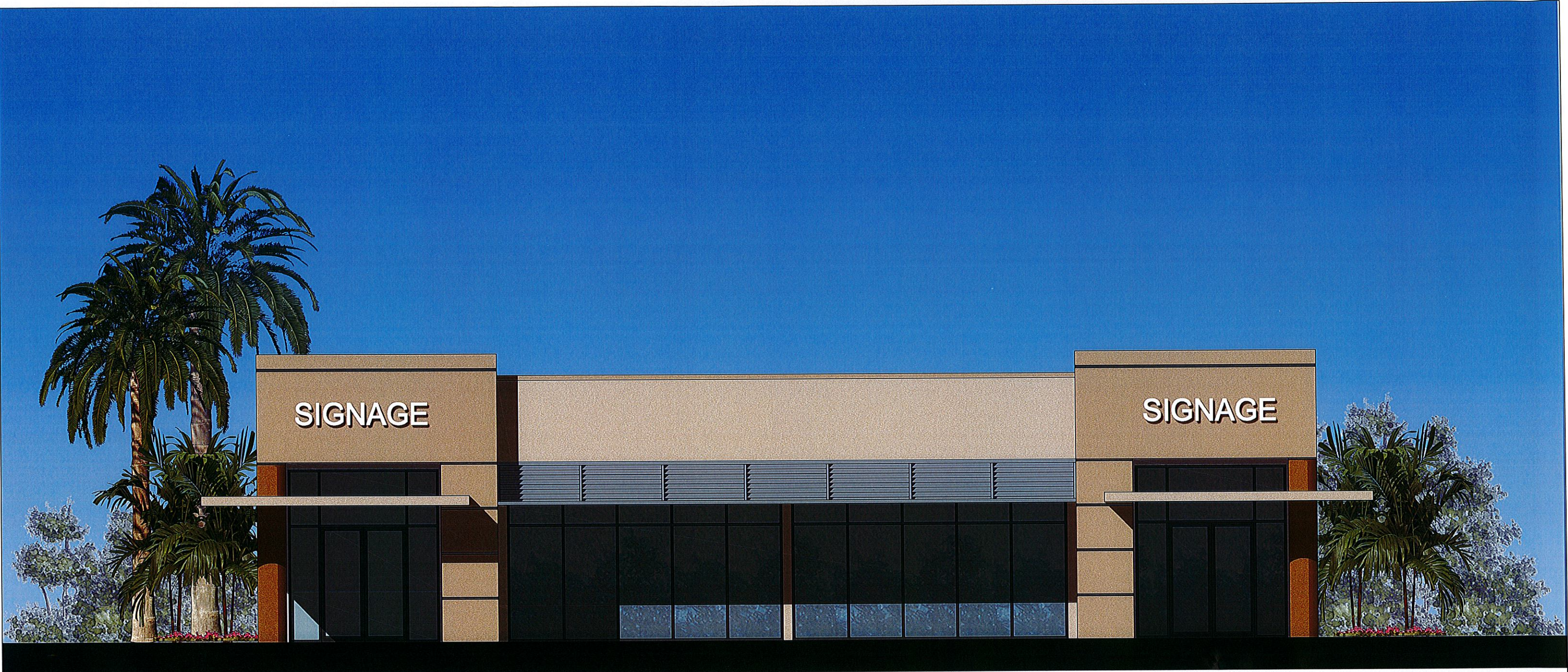
COPYRIGHT © 2015 BY M.D.Y. ASSOCIATES, INC. ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF M.D.Y. ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF M.D.Y. ASSOCIATES, INC. WHETHER THE PROJECT IS COMPLETED OR NOT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF M.D.Y. ASSOCIATES, INC. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

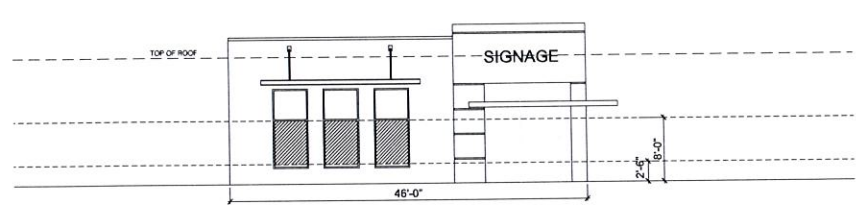
Sheet Title
BUILDING 3 ELEVATIONS

Sheet
A3.02

SIGNAGE

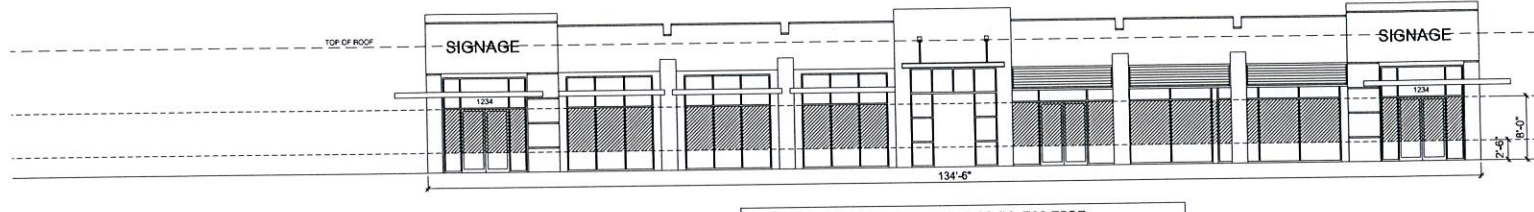
SIGNAGE





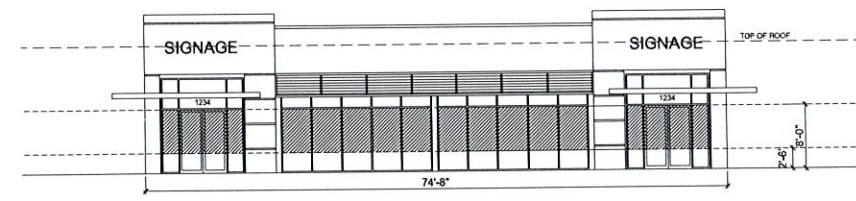
FACADE AREA AS PER Sec. 510-30 (h): 253.00 SF
 GLAZING AREA REQ'd AS PER Sec. 510-30 (h) 15% = 37.95 sf
 GLAZING AREA PROVIDED: 74.24 sf

1
 A4.00 **B2 - FRONTAGE 26th AVE.** 3/32 = 1'-0"



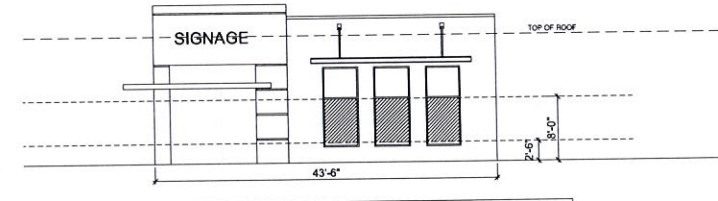
FACADE AREA AS PER Sec. 510-30 (h): 739.75SF
 GLAZING AREA REQ'd AS PER Sec. 510-30 (h) 35% = 258.90 sf
 GLAZING AREA PROVIDED: 506.98 sf

2
 A4.00 **B2 - FRONTAGE ON GRIFFIN** 3/32 = 1'-0"



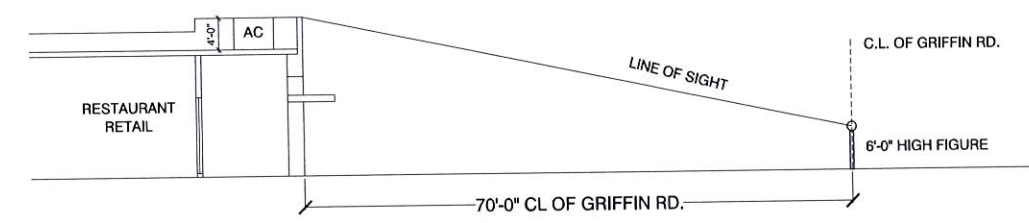
FACADE AREA AS PER Sec. 510-30 (h): 410.66 SF
 GLAZING AREA REQ'd AS PER Sec. 510-30 (h) 35% = 143.70 sf
 GLAZING AREA PROVIDED: 330.9 SF

3
 A4.00 **B1- FRONTAGE ON GRIFFIN** 3/32 = 1'-0"

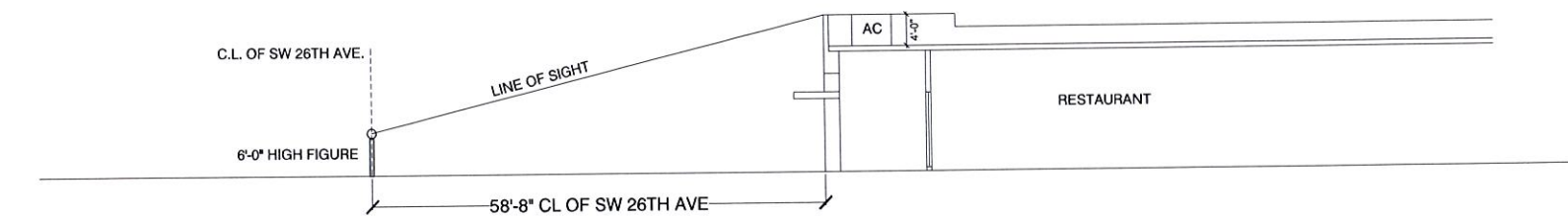


FACADE AREA AS PER Sec. 510-30 (h): 239.24 SF
 GLAZING AREA REQ'd AS PER Sec. 510-30 (h) 15% = 38.88 sf
 GLAZING AREA PROVIDED: 74.24 sf

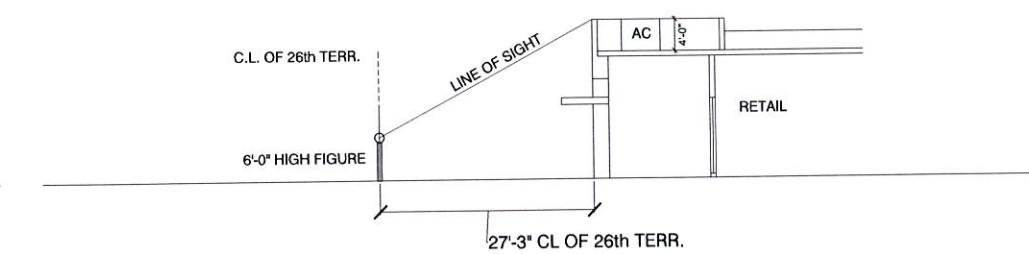
4
 A4.00 **B1- FRONTAGE ON 26th TERR.** 3/32 = 1'-0"



5
 A4.00 **AC LINE OF SIGHT - GRIFFIN** 3/32 = 1'-0"



6
 A4.00 **AC LINE OF SIGHT - 26th AVE** 3/32 = 1'-0"



7
 A4.00 **AC LINE OF SIGHT - 26th TERR.** 3/32 = 1'-0"

Project Name
 KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number

Drawn Project Number

Drawn For
 SITE PLAN REVIEW

Drawn By
 MARTIN A.D. YABOR, FAIA
 Lic. # AR0015332

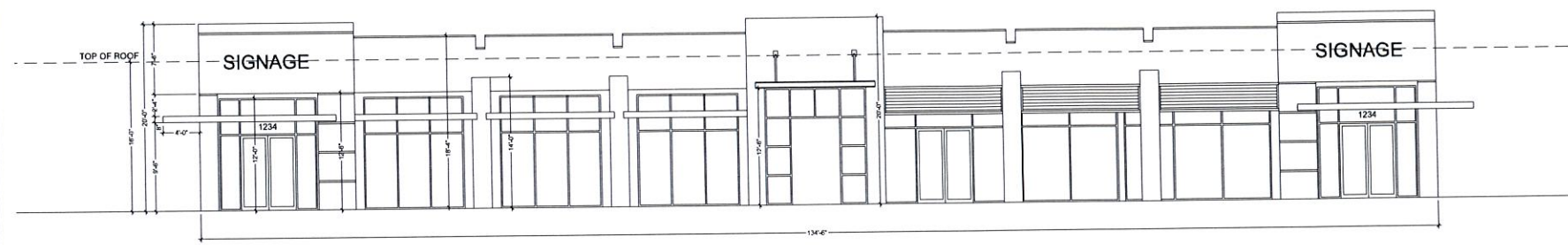
Revisions		
No.	Date	Description

Date 02.02.2013
Drawn by G.S.
Checked by M.D.Y.
Scale AS SHOWN

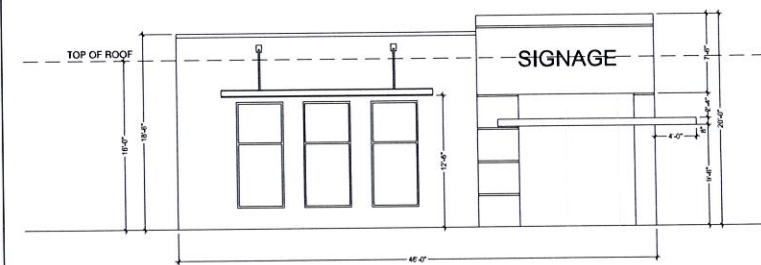
Copyright © 2013 by MAD & ASSOCIATES, INC. All rights reserved. These drawings and specifications are the property of MAD & ASSOCIATES, INC. and shall remain the property of MAD & ASSOCIATES, INC. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of MAD & ASSOCIATES, INC. The written consent of MAD & ASSOCIATES, INC. is required for any reproduction, storage, or transmission of these drawings or specifications for any purpose other than that for which they were originally prepared.

Sheet Title
 AC LINE OF SIGHT & GLAZING COMPUTATIONS

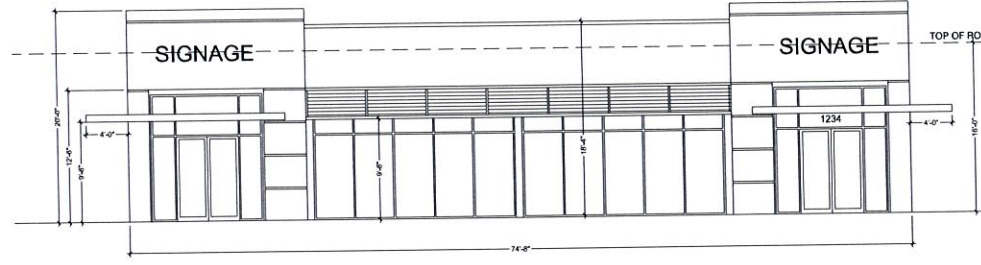
Sheet
 A4.00



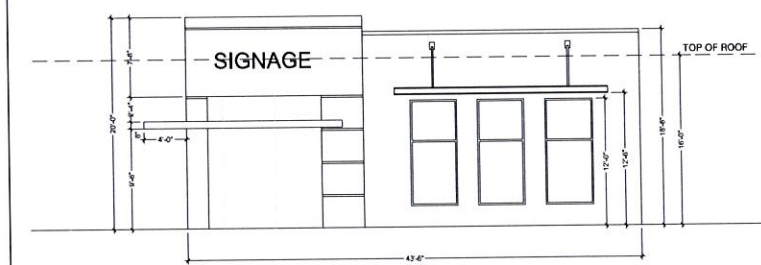
1
A5.00 **B2 - FRONTAGE ON GRIFFIN** 1/8" = 1'-0"



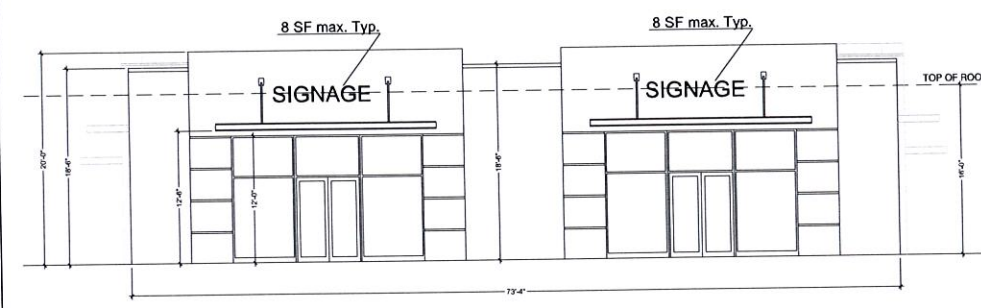
3
A5.00 **B2 - FRONTAGE 26th AVE.** 1/8" = 1'-0"



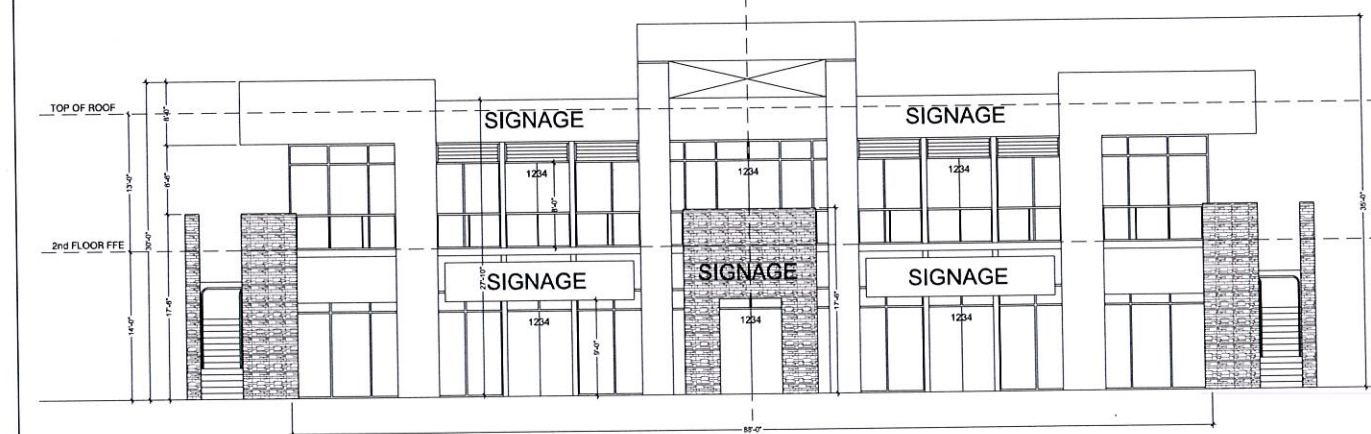
4
A5.00 **B1 - FRONTAGE ON GRIFFIN RD.** 1/8" = 1'-0"



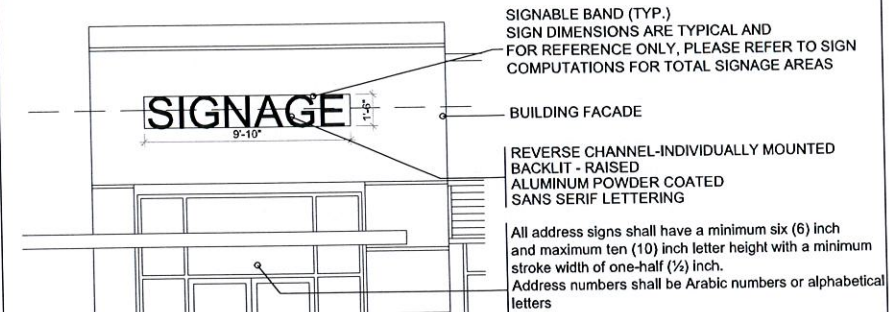
6
A5.00 **B1 - FRONTAGE ON 26TH TERR.** 1/8" = 1'-0"



7
A5.00 **INTERIOR ELEV. SIGNAGE TYP.** 1/8" = 1'-0"



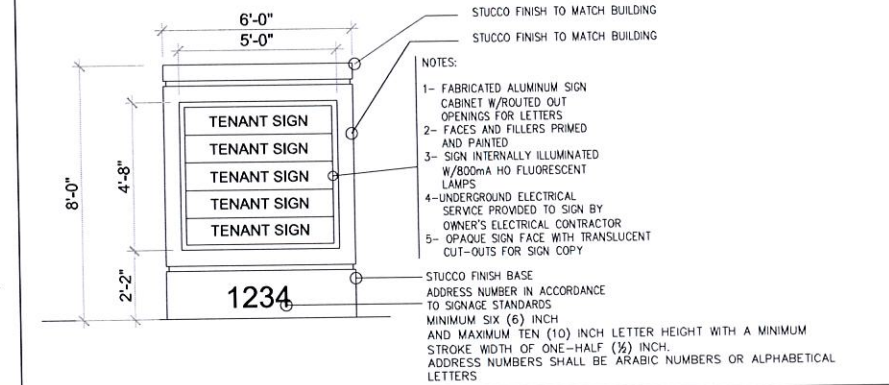
9
A5.00 **B3 - INTERIOR FRONTAGE** 1/8" = 1'-0"



2
A5.00 **PROPOSED SIGNAGE (TYP.)** 1/4" = 1'-0"

- NOTES:
- 1- ALL SIGNAGE SHOWN IS TYPICAL
 - 2- SIGNAGE COLOR TO BE RED, WHITE OR BLUE
 - 3- NUMBER OF SIGNS IS SHOWN FOR POSITION AND NUMBER OF TENANTS FLEXIBILITY. ONLY ONE SIGN ALLOWED PER TENANT PER ELEVATION
 - 4- SIZE OF SIGNS SHOWN IS TYPICAL BUT WILL VARY NOT TO EXCEED TOTAL SQUARE FOOTAGE SHOWN IN TABLE ACCORDING TO NUMBER OF TENANTS
 - 5- TENANTS WITH CORPORATE TRADEMARKED LOGOS WILL BE ALLOWED TO DEVIATE FROM THESE STANDARDS BUT WILL NEED TO COMPLY WITH ALL CITY OF DANIA BEACH SIGNAGE REGULATIONS AT TIME OF PERMIT
 - 6- NO GALLERY SIGNS ALLOWED. ALL SIGNS ARE FOR INDIVIDUAL TENANTS

5
A5.00 **GENERAL NOTES** 3/8" = 1'-0"



8
A5.00 **PROPOSED MONUMENT SIGN** NTS

	SIGNAGE COMPUTATIONS														
	FRONT 26 TERR			FRONT GRIFFIN RD			FRONT SW 26TH AVE.			INTERIOR FRONTAGE			REAR FRONTAGE		
	LINEAR FT. FRONTAGE	PERMITTED	PROVIDED	LINEAR FT. FRONTAGE	PERMITTED	PROVIDED	LINEAR FT. FRONTAGE	PERMITTED	PROVIDED	LINEAR FT. FRONTAGE	PERMITTED	PROVIDED	LINEAR FT. FRONTAGE	PERMITTED	PROVIDED
BUILDING 1	43'-0"	1 SQ. FT PER 75' L20 PER ADDITIONAL FOOT = 433 SQ FT	430 SQ FT	74'-0"	1 SQ. FT PER 75' L20 PER ADDITIONAL FOOT = 748 SQ FT	74 SQ FT.	46'-0"	1 SQ. FT PER 75' L20 PER ADDITIONAL FOOT = 465 SQ FT.	465 SQ FT.	72'-0"	8 SQ. FT PER SERVICE ENTRANCE = 18 SF	18 SF	133'-0"	8 SQ. FT PER SERVICE ENTRANCE = 32 SF	24 SF
BUILDING 2				134'-0"	1 SQ. FT PER 75' L20 PER ADDITIONAL FOOT = 858 SQ FT	858 SQ FT.				88'-0"	1 SQ. FT PER 75' L20 PER ADDITIONAL FOOT = 78 SQ FT.	78 SQ FT.	N/A	N/A	N/A
BUILDING 3															

Project Name
KOOSH RETAIL CENTER
DANIA BEACH, FL

Project Number
Date of Project Number
Scale

Sheet For
SITE PLAN REVIEW

MARTIN A.D. YABOR, F.A.S.A.
Lic. # AD0001332

Revisions		
No.	Date	Description

Drawn By
Checked By
Scale

DATE: 02.02.2015
Dwg No.: 015
Client No.: MEDY
Scale: AS SHOWN

Sheet Title
SIGNAGE

Sheet
A5.00



SEAL
 DATE: Jan 15, 2015
 GERARDO SETHI PEREZ-GILGERRAN
 FLORIDA REG. NO. 66754
 PROFESSIONAL ENGINEER

Project Name
KOOSH RETAIL CENTER
 DANIA BEACH, FL

Project Number: ---
 Draw/Project Number: ---

Sheet For: **SITE PLAN REVIEW**

MARTIN A.D. YARBOR FAIA
 Lic. # AR0015332

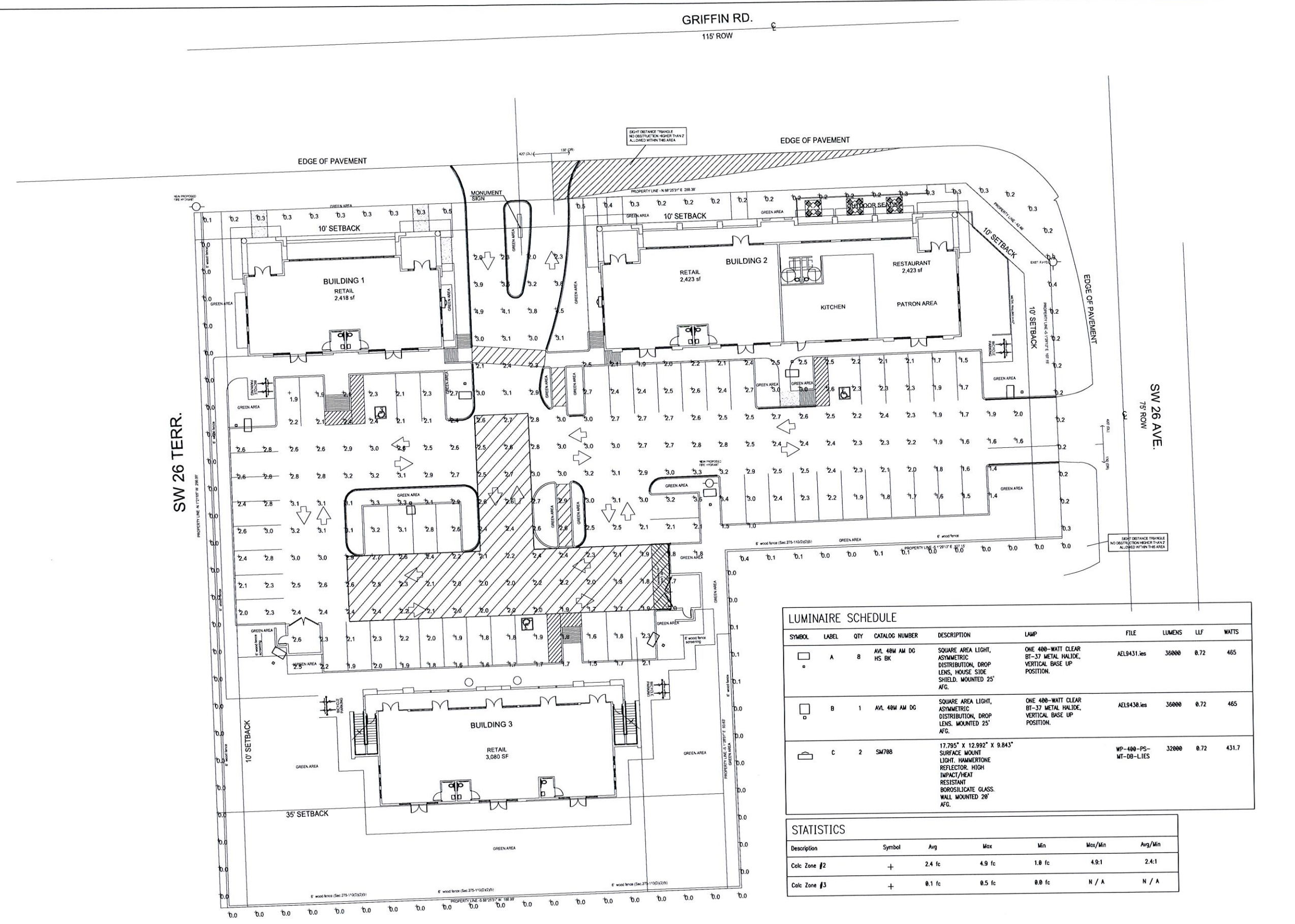
Revisions		
No.	Date	Description

Date: 1/15/2015
 Drawn by: G.S.
 Checked by: M.C.Y.
 Scale: AS SHOWN

COPYRIGHT © 2014 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MADY & ASSOCIATES, INC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MADY & ASSOCIATES, INC. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

Sheet Title
**SITE PLAN
 PHOTOMETRIC**

Sheet
E1.0



LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS LUF WATTS
	A	8	AVL 48W AM DG HS BK	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, DROP LENS, HOUSE SIDE SHIELD, MOUNTED 25' AFG.	ONE 400-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE UP POSITION.	AEL9431.ies	36000 0.72 465
	B	1	AVL 48W AM DG	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, DROP LENS, MOUNTED 25' AFG.	ONE 400-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE UP POSITION.	AEL9438.ies	36000 0.72 465
	C	2	SM786	17.795" X 12.992" X 9.843" SURFACE MOUNT LIGHT, HAMMERTONE REFLECTOR, HIGH IMPACT/HEAT RESISTANT BOROSILICATE GLASS, WALL MOUNTED 20' AFG.		WP-400-PS-MT-DB-LIES	32000 0.72 431.7

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.4 fc	4.9 fc	1.8 fc	4.9:1	2.4:1
Calc Zone #3	+	0.1 fc	0.5 fc	0.0 fc	N / A	N / A

1 SITE PLAN - PHOTOMETRIC
 SCALE: 1/16"=1'-0"